



Enderby Associates

**MELKSHAM COMMUNITY CAMPUS,
MELKSHAM HOUSE,
MELKSHAM**

Application ref. PL/2021/10087

**LANDSCAPE MANAGEMENT PLAN
(Revision A)**

for

Wiltshire Council

June 2022

**MELKSHAM COMMUNITY CAMPUS,
MELKSHAM HOUSE,
MELKSHAM**

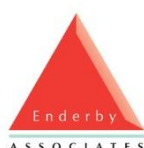
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ENDERBY ASSOCIATES

Chartered Landscape Architects ♦ Environmental Planning Consultants

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1.0 INTRODUCTION

- 1.1 Enderby Associates (a landscape institute registered practice) have been instructed by Wiltshire Council to prepare a Landscape Management Plan (LMP) in connection with the new Community Campus development at Melksham House, Melksham.
- 1.2 The practice has been involved with the development of the proposals, including the preparation of a Landscape and Visual Appraisal (LVA) and Soft Landscape Proposals that formed part of the planning application. The detailed proposals also incorporated some habitat enhancement measures which are also referred, in management terms and where appropriate, within this Management Plan.
- 1.3 Subsequently, the practice prepared a detailed Soft Landscape Specification for the works covering ground preparation works and subsequent planting, seeding/turfing works and forms the basis of the landscape works. The specification also provides details of the maintenance requirements during the initial 12 month maintenance/establishment period until the soft works are handed over to the Council for future maintenance and management on the basis of this Management Plan.
- 1.4 Subsequent to planning consent, the practice was appointed in October 2020 to act as the Council's Landscape Technical Adviser in relation to the development of the design of soft landscape scheme by the contractor (Pellikaan) and the implementation of the scheme as part of the building contract. Implementation is to be carried out in accordance with the requirements of the aforementioned Landscape Specification.

The approved development proposals

- 1.5 The development comprises the construction of a new Community Campus and related works on a site adjoining Melksham House. The proposals received planning consent (application ref. 19/03329/DP3) in November 2019, with variations agreed subsequently in February 2022 (ref. PL/2021/10087). The latter was subject to various conditions; this includes a pre-commencement condition relating to the submission and approval of a Landscape Management Plan (condition 18) which states:

'The development hereby approved shall not be first brought into use until a landscape management plan, including long-term design objectives, management responsibilities and maintenance schedules for all landscape areas (other than small, privately owned, domestic gardens) has been submitted to and approved in writing by the Local Planning Authority. The landscape management plan shall be carried out as approved in accordance with the approved details.'

REASON: The application contained insufficient information to enable this matter to be considered prior to granting planning permission and] the matter is required to be agreed with the Local Planning Authority before development commences in order that the development is undertaken in an acceptable manner, to ensure the proper management of the landscaped areas in the interests of visual amenity.'

- 1.6 Following planning consent, the building contractor was appointed and developed the design. This included the development of the soft landscape scheme proposals by East Midlands Landscaping (EML). The following plans were approved and form the basis of the approved scheme:
- 002-61505-RLL-XX-01-DR-A-L(9)010, Rev AA, Proposed Site Plan
 - EML PEL 1099 01, Rev C4, Landscaping Plan
 - EML PEL 1099 02 - Rev C1, Raised Bund Landscaping Plan
 - EML PEL 1099 03, Rev F, Tree Pit 1 of 2
 - EML PEL 1099 04 - Rev C, Tree Pit and Fencing Details Sheet 2 of 2.
- 1.7 Reduced scale copies are included in Annex A. It should be noted that there have been some subsequent minor alterations made during the construction period, and these will be submitted as part of non-material amendments towards the end of the project.
- 1.8 At the time of writing the works are being implemented in accordance with these proposals, with completion due in summer 2022 (exact date to be confirmed).
- 1.9 This Management Plan provides the information required to discharge the requirements of condition 18.

2.0 LANDSCAPE PROPOSALS

Landscape strategy and objectives of the landscape scheme

2.1 The landscape strategy that was developed for the site, as set out in the LVA, comprised the following principal elements:

- A row of closely spaced trees, with an upright form, along the southern elevation of the new building to break up the southern building elevation in rear views from the properties at Cedar Gardens (the residents requested that trees were not planted along their boundary) and the existing open space beyond the site boundary to the south east.
- Creation of a habitat area around the southern swale.
- Reinforcement of existing vegetation along the southern site boundary with the adjoining open space to enhance screening of the service yard.
- Partial replacement of the defunct hedgerow at the western end of the site (adjoining the western elevation of the new building) with a native hedgerow.
- Provision of a line of native trees on the west side of the public footpath (MELK20), west of the new building, to assimilate the new building and contribute to the policy ambition to provide tree planting along the southern and eastern sides of the existing playing field.
- Retention of the pond. There is scope for its renovation as part of any future proposals for Melksham House. It does not form part of the site.
- Medium level shrub planting on the south western side of the pond, opposite the new library windows, to enhance screening and limit the influence of lighting on the darker western end of the pond.
- Fencing and new planting at the western end of the pond to exclude public access and enhance the more natural character and habitat at this end of the pond.
- Creation of a paved viewing area with seating on the south east edge of the pond, linked to the main building entrance.
- A line of trees within hard landscape opposite the north east side of the new building with trees along the approach road to assist with defining the entrance to the building, extending the parkland character from the existing parkland to the north east, complemented by the retention of the two mature Black pines (tree numbers T37 and T38) on the northern edge of the eastern car park. The 'island' would contain a grass depression as part of the surface water drainage strategy (subsequent changes to the drainage strategy meant that the depression is no longer required).
- Replacement of trees removed from within the parkland that are either diseased or need to be removed to accommodate the alterations to the access through the site from Market Place.

- Planting to enhance screening of the northern car park in views from the western end of Place Road.
- 2.2 In addition, the proposals included proposals for the creation of a viewing mound along the southern side of the cricket ground west of the site.
- 2.3 This strategy formed the basis of the submitted Soft Landscape Proposals, which has been carried forward and developed in design by the appointed contractor.
- 2.4 The developed proposals also include ecological mitigation/enhancement measures, such as the use of native tree and shrub species and the incorporation of areas of wildflower/species-rich grassland.

Implementation

- 2.5 At the time of writing, construction is well advanced with completion and handover of the building and related works due in summer 2022. Planting has taken place during March and April 2022.

3.0 MAINTENANCE AND MANAGEMENT

- 3.1 As previously noted, the building contractor will remain responsible for the care and maintenance of the soft landscape scheme during the 12 months defects liability period from the date of handover. The requirements for the works during this period were set out in the detailed Soft Landscape Specification (specifically clauses 713 to 736 of Section Q30 and clauses 710 to 802 of Section Q31) that formed part of the contract. The contractor is responsible for the replacement of any failed planting during this period.
- 3.2 The following summarises the landscape maintenance and management requirements following handover of the soft landscape areas to the Council at the end of the 12 months defects period. It covers a period of 5 years from handover.
- 3.3 For practical purposes, landscape areas that fall within the application site boundary, but which have either not been subject to alterations, or which only contain limited works, are to be included as part of the maintenance and operations for the site. Specifically, these areas are:
- The area of undisturbed grassland on the former rugby pitch west of the new building (south of the raised bund). These are shown hatched on EML dwg. no. EML PEL 1099 01 Rev. C4.
 - Areas of undisturbed grassland within the parkland area that extends either side of the access road from Market Place, including grass areas adjoining Melksham House extending northwards (between the access road to the northern car park and the bowling green).
- 3.4 Management operations over this period will focus upon ensuring that planting becomes fully established. The need for any modifications will need to be kept under periodic review and adjustments made accordingly, with any changes being reported as part of the monitoring regime (as described in section 4).
- 3.5 Any trees and shrubs that are removed, become diseased or fail within the Management Plan period shall be replaced in the next appropriate planting season with the same species and similar size as adjacent plants, unless otherwise agreed with the planning authority.
- 3.6 All pruning and other debris created by the management works shall be removed from site and disposed of according to the council's waste policies/requirements.
- 3.7 Watering will be required periodically to trees, shrubs and hedges during the growing season (depending upon prevailing weather conditions) to ensure they establish successfully and flourish within the first 5 years. Watering shall ensure that the full depth of topsoil in planting areas is thoroughly saturated, with trees being watered thoroughly, via the inlets on the

installed RootRain watering pipes, until the rooting zone is fully wetted. In periods of drought planting shall be watered at least once per week. The maintenance contractor will be responsible for assessing the watering requirements on a weekly basis (subject to prevailing weather conditions) during the growing season and acting accordingly.

- 3.8 The following provides a summary of the management of the various landscape areas within the site. Further details of the timing of principal operations are set out in Table 1 below.

Parkland

- 3.9 The parkland area that flanks the access road into the site from Market Place accommodates minor changes to the alignment of the access road and the introduction of footpaths. The only landscape works undertaken in the area comprises making good the edges of these elements with soiling and the laying of turf and the inclusion of some tree planting. These areas shall be maintained until fully established and handover, following which the areas shall be incorporated into the maintenance of the parkland. The new trees shall be monitored and watered as required until fully established. Any failures shall be replaced as originally specified.
- 3.10 The small area of shrub planting adjoining the sub-station shall be kept weed free with any plants that fail being replaced by the same species. Shrubs that impede the adjoining footpath shall require occasional pruning.

Northern car park

- 3.11 All planting between the car park and Place Road shall be maintained in a weed-free condition with taller species encouraged to develop into a screen.
- 3.12 The three trees shall be monitored and watered as required until fully established.
- 3.13 Groundcover planting adjoining the car park will require occasional pruning to avoid infringing the parking areas. As these areas develop, they may be trimmed to form a more formal 'boxed' shape.

Soft landscape areas adjoining car parks

- 3.14 Planting around the periphery of the two car parks shall be maintained to encourage dense, weed-excluding cover. Any pruning shall be undertaken to reflect the nature and form of the species; clipping with hedge-cutters to uniform shapes shall be avoided. Planting adjoining roadways and paths will require occasional pruning to avoid infringing the adjoining areas.

The edges between planting areas and grass area shall be defined by a clean, trimmed grass edge to a consistent flowing alignment.

- 3.15 Grass areas shall be mown regularly with a mulching mower. If grass is too long for mulched arisings to be incorporated into the sward, the arisings shall be removed ('boxed off').
- 3.16 Once native planting on the southern boundary has established (after circa 3 years) planting tubes/guards shall be removed.
- 3.17 The existing tall laurel hedge along the northern side of the northern car park shall be pruned as required to prevent encroachment over the edge of the car park. The new section of laurel hedge beyond the north west edge of the northern car park shall be allowed to develop into an informal screen, pruned as necessary to retain an informal shape.
- 3.18 All new trees shall be monitored and watered as required until fully established. Strimmer guards shall be replaced if damaged or have become too small.

Trees in cellular tree pits/building entrance area

- 3.19 The five trees within the cellular tree pits shall be monitored and watered as required until trees are fully established. Aeration grilles shall be inspected regularly and cleaned of any debris. Any litter/debris should be removed from within the tree grille and guards, and the seating area around the tree near the existing pond. Guards shall be maintained in perpendicular position.
- 3.20 If salt is to be spread on adjoining surfaces it is important that this is kept away from the tree grilles to avoid contamination.
- 3.21 Planting in the linear bed adjoining the north elevation of the building shall be maintained to a regular shape, with the height not to exceed 1.3m.

Infiltration pond

- 3.22 The wildflower grassland area (EM4 and EM8 seed mixes) within/adjoining the pond shall be cut annually in late August/early September with arisings raked off and removed 7 days after cutting (to allow seed to fall). Mow again in late autumn/winter or early spring if required. Care shall be taken to avoid cutting down the areas of marginal planting. Any pernicious weeds (such as docks) shall be spot treated with appropriate non-residual herbicide to avoid infestation.

- 3.23 The line of new trees shall be monitored and watered as required until fully established. Strimmer guards shall be replaced if damaged or have become too small.
- 3.24 The hawthorn hedge along the northern side of the pond shall be trimmed as necessary as it establishes to form a dense hedge of even proportions. It shall not exceed 1.3m high after cutting and not impinge on the adjoining path. Arisings shall be removed.

West elevation of building

- 3.25 Grass areas between the building and the public footpath shall be mown regularly with a mulching mower. If grass is too long for mulched arisings to be incorporated into the sward, the arisings shall be removed ('boxed off').
- 3.26 The hedges shall be maintained as 3.23 above. Any protective fencing within the hedge shall be removed once the hedges are fully established and have formed a barrier.
- 3.27 The new trees west of the building shall be monitored and watered as required until fully established. Strimmer guards shall be replaced if damaged or have become too small.

Former rugby pitch/grass mound

- 3.28 The grass area west of the building and public footpath (the former rugby pitch) shall be maintained by regular mowing as an area of amenity grassland. This includes areas that were disturbed during the works and made good and seeded (A9 mix), and those areas that remained undisturbed (shown hatched on Landscaping Plan).
- 3.29 The new mound shall also be maintained by regular mowing.
- 3.30 Arisings will not need to be removed from these areas.

Landscape areas adjoining existing pond (within site boundary only)

- 3.31 The new hedge along the southern and western sides of the pond shall be maintained as 3.23 above. Once the hedges are fully established any protective fencing within the hedge shall be removed.
- 3.32 Shrub planting along the southern side of the pond shall be maintained to encourage dense, weed-excluding cover. Any pruning shall be undertaken to reflect the nature and form of the species; clipping with hedge-cutters to uniform shapes shall be avoided. The edge between planting area and grass shall be defined by a clean, trimmed grass edge to a consistent flowing alignment.

- 3.33 The grassland area (EM10F mix) between the new hedge and existing pond shall not be cut and allowed to develop as tussocky grassland. Any pernicious weeds (such as docks) shall be spot treated with appropriate non-residual herbicide to avoid infestation.
- 3.34 The new trees shall be monitored and watered as required until fully established. Strimmer guards shall be replaced if damaged or have become too small.

TABLE 1 – MAINTENANCE/MANAGEMENT OPERATIONS FOR LANDSCAPE AREAS – YEARS 1-5

Operations (each year unless otherwise indicated in Notes)	Months												Notes
	J	F	M	A	M	J	J	A	S	O	N	D	
Planting areas													
Maintain shrub and groundcover areas within development free of weeds				■	■	■	■	■	□				
Herbicide/spot treatment to planting stations (800mm diameter) in matrix planting areas and along native hedge lines				■			■						Years 1-2; review need subsequently
Herbicide/spot treatment/removal of pernicious weeds (e.g. ragwort; creeping thistle; etc.)						■		■					Each year. Increase no. of operations to control infestations as required
Re-firm plants		■							■				Twice yearly until plants well established and soundly rooted
Watering shrubs and hedges				□	□	■	■	■					As required in years 1-5 (depending upon prevailing weather conditions) until plants are fully established
Watering trees				□	□	■	■	■					As required in years 1-5, (depending upon prevailing weather conditions) until trees are fully established
Check tree guys		■							■				Each year until fully stable
Check guards and shelters in matrix planting areas and native hedges; re-firm/re-stake as required		■							■				Each year until removed

Operations (each year unless otherwise indicated in Notes)	Months												Notes
	J	F	M	A	M	J	J	A	S	O	N	D	
Apply fertiliser top dressing to plants			■										Years 1-2*
Remove guards and shelters				■									Year 3 or 4*
Replace failed plants	■	■										■	Each year up to year 5
Trim hedges	■	■					■						Trim hedges to even height (according to objectives and location). Cut native hedges in February; single species/foliage hedges in July (or August). Check for nesting birds prior to trimming in bird nesting season (March to August inclusive).
Control brambles in areas of native planting	■	■											Periodically spot treat brambles where necessary to prevent them encroaching into new planting
Grass areas													
Cut amenity grass in open grass spaces. This includes grass in the parkland area between Market Place access and Melksham House; verges leading to the northern car park; and the former rugby pitch and bund in the western part of the site (areas shown as seeded and areas hatched on EML Landscaping Plan).			□	■	■	■	■	■	■	■	□		Cut grass regularly to maintain tight sward and tidy appearance throughout growing season; remove arisings (unless incorporated by mulching in all grass areas close to the new building and immediate

Operations (each year unless otherwise indicated in Notes)	Months												Notes
	J	F	M	A	M	J	J	A	S	O	N	D	
													approach near Melksham House). Arisings may remain in former rugby pitch areas. Adjust frequency according to growing season/growth rate of grass.
Maintain grass free circles (800mm dia.) around base of all new trees in grass and top up mulch				■					■				Years 1-3
Cut down wildflower/meadow grass areas	□	□					□	■	□	□			Follow seed suppliers recommended maintenance regime for establishment, according to mix. Once established meadow grass areas not to be cut between spring and late July/August. Cut when flowering has largely finished and leave arisings for 1 week before collecting and removing. Mow again in late autumn/winter or early spring if required.
Fertiliser/weed treatment to amenity grass areas, if required (not wildflower areas)				■					□				Increase no. of treatments to control infestations/feed grass areas as required

Operations (each year unless otherwise indicated in Notes)	Months												Notes
	J	F	M	A	M	J	J	A	S	O	N	D	
General													
Litter collection	■	■	■	■	■	■	■	■	■	■	■	■	Collect and remove all litter from soft landscape areas
Landscape contractor to submit annual monitoring report to Wiltshire Council (refer section 4)												■	Annually

* Timing/duration of operations will be dependent upon establishment of planting/growth rates which will be dependent on climatic conditions. To be kept under review.

■ Denotes optimum months for operations

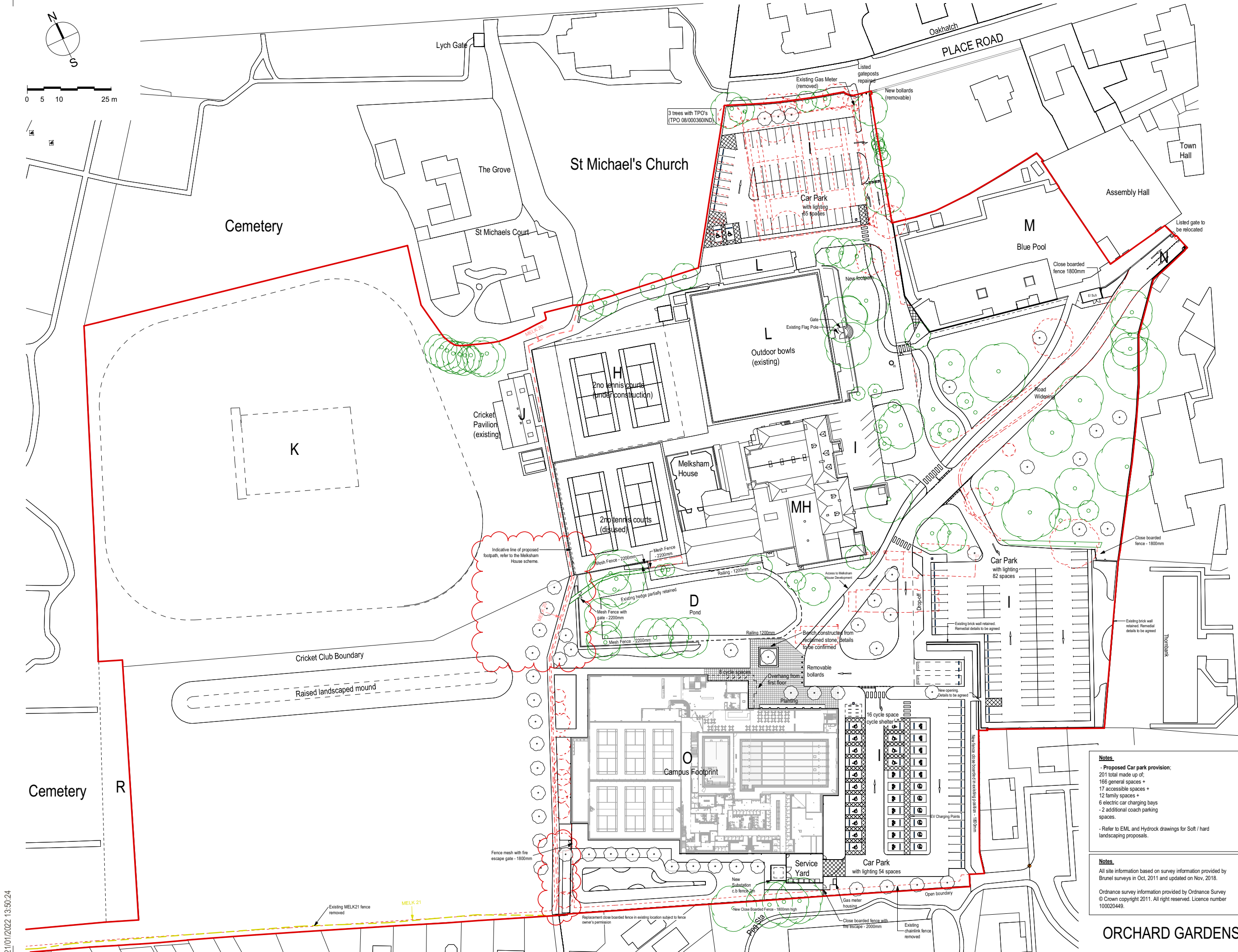
□ Denotes other possible months for operations (depending upon seasonal requirements)

4.0 MONITORING ARRANGEMENTS

- 4.1 The landscape maintenance/management contractor will provide the Council (or their appointed agent) with an annual summary (to be submitted in December) of the operations undertaken over the year and any specific issues that need to be addressed or additional operations required.
- 4.2 The document shall also indicate if any changes to the planned management regime (as provided in Table 1 above) are likely to be required during the forthcoming year supported, if necessary, by a marked-up plan.

ANNEX A

Copies of approved Soft Landscape drawings (reduced scale)



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Do Not scale off this drawing, use only figured dimensions and report any discrepancies or omissions to the Architect immediately.

Rev.	Date	Description
A	17.03.2020	Issued Site Plan
B	19.03.2020	Rev B Plans
C	20.03.20	Revision C Plans
D	24.03.2020	Title block amended. Drawing extend to the Southern boundary increased to include houses.
E	31.03.2020	Site plan coloured.
F	02.04.2020	Drawing number changed from L101010. Revision to GF plant room internal layout and external footprint.
G	06.10.2020	Revised South Car Park and updated North Car Park to suite Hydrock drawings.
H	07.10.2020	Ground Floor Plan shown on site plan
J	12.10.2020	Updated footpath
K	10.11.2020	Updated fencing to substation and middle car park area
L	25.03.2021	ISSUED FOR PLANNING
M	01.04.2021	ISSUED FOR PLANNING
N	14.04.2021	ISSUED FOR PLANNING
P	27.04.2021	ISSUED FOR PLANNING
Q	04.08.2021	ISSUED FOR APPROVAL
R	05.08.2021	ISSUED FOR APPROVAL
S	16.08.2021	ISSUED FOR APPROVAL
T	25.08.2021	ISSUED FOR APPROVAL
U	14.09.2021	ISSUED FOR APPROVAL
V	17.09.2021	ISSUED FOR APPROVAL - General Site Plan Update
W	22.09.2021	ISSUED FOR APPROVAL
X	30.09.2021	ISSUED FOR APPROVAL
Y	19.10.2021	ISSUED FOR PLANNING
Z	04.01.2022	ISSUED FOR PLANNING
AA	21.01.2022	ISSUED FOR PLANNING

KEY

- Planning / work associated boundary
- Existing public rights of way (approx. legal line)
- MELK 20 public right of way (approx. legal line)

MH Melksham House Listed Grade II

D Existing pond

H Tennis courts

I Car parking

J Cricket pavilion

K Cricket square

L Bowls green and pavilion

M Blue Pool Site

N Principal site entrance (vehicles / pedestrians)

O Melksham Campus

R Cemetery extension

W Well

Demolitions

Fire Hydrants

Wheelstops

Potential locations for parking meters subject to the parking strategy

Roberts Limbrick
ARCHITECTS

PROJECT
Melksham Community Campus

CLIENT
Wiltshire Council

DRAWING
Proposed Site Plan

STATUS
PLANNING

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SCALE
1:500@A1

ORIGINATOR NO
9644

DATE
15/01/20

AUTHOR
SL

DRAWING NUMBER:
002-61505-RLL-XX-01-DR-A-L(9)010AA

REVISION

PROJECT ORIGINATOR (JUNE LEVEL 1 TYPE SCALE NUMBER)

Notes

- Proposed Car park provision:
201 total made up of;
166 general spaces +
17 accessible spaces +
12 family spaces +
6 electric car charging bays
- 2 additional coach parking spaces.

- Refer to EML and Hydrock drawings for Soft / hard landscaping proposals.

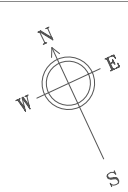
Notes

All site information based on survey information provided by Brunel surveys in Oct, 2011 and updated on Nov, 2018.

Ordnance survey information provided by Ordnance Survey
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ORCHARD GARDENS

21/01/2022 13:50:24



- 1.0 DRAWING INFORMATION
1.1 This East Midlands Landscaping drawing is based upon:
Robert Limbrick Architects Drawing 002-61505-RL-XX-01-DR-A-L(9)010-X Proposed Site Plan
- 2.0 For planting specification and details please see Enderby Associates - Soft Landscaping specification (April 2019)
- 3.0 Proposed Native Trees And Hedges
New tree or hedgerow planting to be stock of native provenance drawn from Native Seed Zone 404 (Forestry Commission) and typical of those found indigenous to County of Wiltshire.
- 4.0 TREES/PLANTS Name, forms, dimensions and other criteria as scheduled and defined in the National Planting Specification.
NOTE: Plants must be in upper half of specified height range. Plants are to be inspected prior to planting taking place. All trees are to be selected for the project at the nursery by the CA. If trees are not agreed prior to delivery they may be rejected if found to be inconsistent with the specification or of poor form.
- 5.0 Planning condition 11: Any trees or plants which, within a period of five years, die, are removed, or become seriously damaged or diseased shall be replaced in the next planting season with others of a similar size and species, unless otherwise agreed in writing by the Local Planning Authority.

Landscaping Schedule					
Tree	Number	Abbreviation	Species	Height	Pot Size
4	AcE	Acer campestre 'Eisrijk'	425-600cm	18-20cm	Clear Stem min. 200 (CG)
1	AcLRS	Acer campestre 'Louis Red Shine'	425-600cm	18-20cm	Clear Stem min. 200 (RB)
1	ACEPLAB	Acer glaberrimus 'Autumn Blaze'	400-450cm	14-16cm	Clear Stem min. 200 (RB)
4	ACEARM	Acer x freemanii 'Armstrong'	550-600cm	20-25cm	Clear Stem min. 200 (CG)
1	ALNGLI	Alnus glutinosa 'Imperialis'	425-600cm	18-20cm	Clear Stem min. 200 (RB)
3	ALNGLI	Alnus glutinosa 'Imperialis'	425-600cm	14-16cm	Clear Stem min. 200 (RB)
1	ALNINI	Alnus incana 'Laciniata'	400-450cm	14-16cm	Clear Stem min. 200 (RB)
1	AMLRH	Amelanchier x grandiflora 'Robin Hill'	425-600cm	14-16cm	Clear Stem min. 200 (RB)
5	Be	Betula ermanii	550-600cm	20-25cm	Clear Stem min. 200 (CG)
1	CARBET	Carpinus betulus	425-600cm	14-16cm	Clear Stem min. 200 (RB)
1	MAHP	Malus hupehensis	425-600cm	14-16cm	Clear Stem min. 200 (RB)
3	PK	Prunus Karzan	400-450cm	14-16cm	Clear Stem min. 200 (RB)
9	PCC	Pyrus calleryana 'Chanticleer'	550-600cm	20-25cm	Clear Stem min. 200 (CG)
14	TcGS	Tilia cordata 'Green Spire'	550-600cm	20-25cm	Clear Stem min. 200 (CG)
1	ZELSEGV	Zelkova serrata 'Green Vase'	550-600cm	20-25cm	Clear Stem min. 200 (CG)

Shrubs					
Number	Abbreviation	Species	Density	Height	Pot Size
80	CORSAMF	Cornus sanguinea 'Midwinter Fire'	3/m ²	60-80cm	3L
34	COTSL	Cotoneaster amomifolius	3/m ²	60-80cm	3L
44	EaGE	Elaeagnus ebbingei 'Gilt Edge'	2/m ²	60-80cm	10L
30	LAVST	Lavandula stoechas	6/m ²	10-20cm	2L
211	LIGVU	Ligustrum vulgare	2/m ²	60-80cm	3L
174	LONNIMG	Lonicera nitida 'May Green'	4/m ²	30-40cm	3L
57	LONPUWB	Lonicera purpurea 'Winter Beauty'	3/m ²	60-80cm	3L
57	PERATBS	Perovskia 'Blue Spire'	3/m ²	30-40cm	3L
261	PILRR	Photinia fraseri 'Little Red Robin'	3/m ²	40-60cm	5L
56	PRULADLG	Prunus laurocerasus 'Dart's Low Green'	3/m ²	40-60cm	5L
88	PURC	Pyracantha coccinea 'Red Cushion'	3/m ²	40-60cm	3L
67	SALPIN	Salix purpurea 'Nana'	3/m ²	30-40cm	3L
30	SAN VIR	Santolina virens	6/m ²	20-30cm	2L
19	SnS	Spiraea nipponica 'Snowmound'	3/m ²	40-60cm	5L
175	Sche	Symphoricarpos chenaultii 'Hancock'	3/m ²	40-60cm	3L
30	TECH	Teucrium chamaedrys	3/m ²	20-30cm	2L
196	Vd	Viburnum davidii	3/m ²	30-40cm	5L
41	VIBPLSUS	Viburnum plicatum 'Summer Snowflake'	2/m ²	40-60cm	5L
30	WEFLVA	Weigela florida 'Variegata'	2/m ²	40-60cm	5L

Grasses					
Number	Abbreviation	Species	Density	Pot Size	
192	CARID	Carex 'Ice Dance'	16/m ²	2L	
67	STIAR	Stipa arundinacea	3/m ²	2L	

Hedge 1					
Number	Abbreviation	Species	Density	Height	Pot Size
622	Cmo	Crataegus monogyna	0.4c/v Double Staggered at 0.4m offset	60-80cm	(BR)

Hedge 2					
Number	Abbreviation	Species	Density	Height	Pot Size
41	PRULA	Prunus laurocerasus	3/m	80-100cm	10L

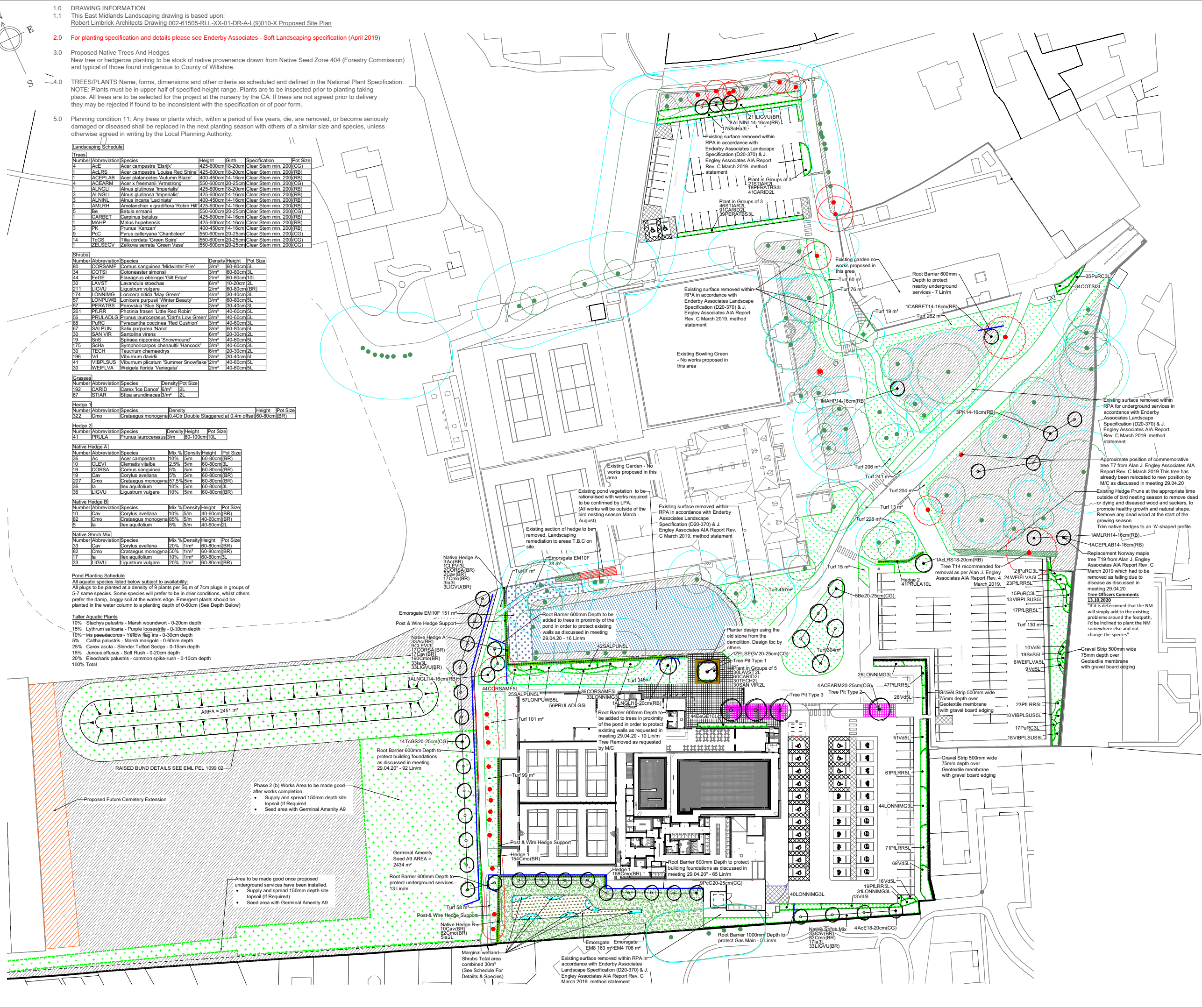
Native Hedge A					
Number	Abbreviation	Species	Mix %	Density	Height
36	Ac	Acer campestre	10%	5/m	60-80cm (BR)
10	CLLEVI	Clematis vitalba	25%	5/m	60-80cm (BR)
19	CORSA	Cornus sanguinea	5%	5/m	60-80cm (BR)
19	Cav	Corylus avellana	5%	5/m	60-80cm (BR)
207	Cmo	Crataegus monogyna	57.5%	5/m	60-80cm (BR)
36	la	Ilex aquifolium	10%	5/m	60-80cm (BR)
36	LIGVU	Ligustrum vulgare	10%	5/m	60-80cm (BR)

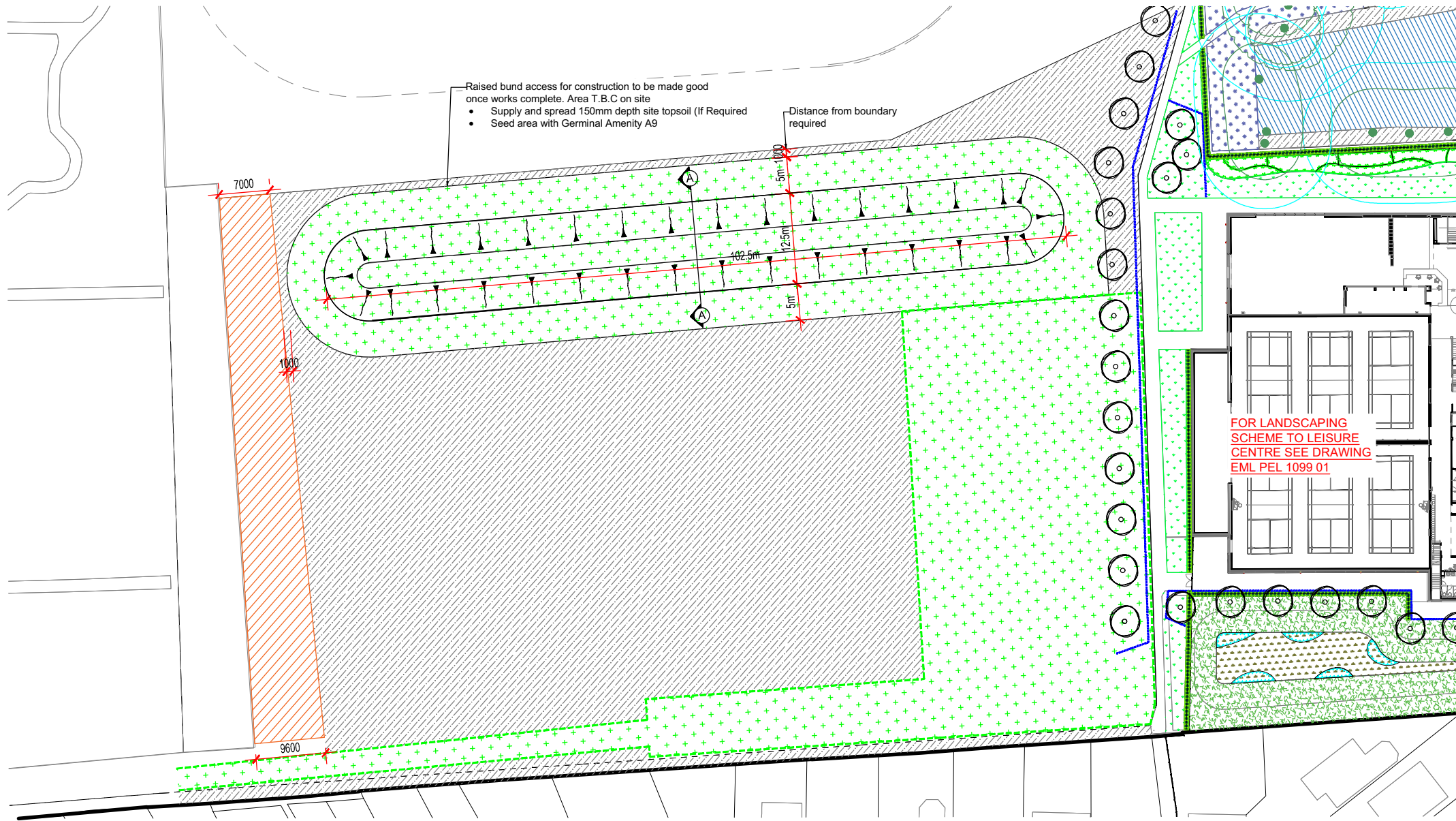
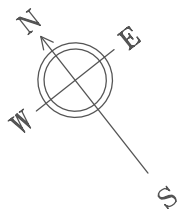
Native Hedge B					
Number	Abbreviation	Species	Mix %	Density	Height
10	Cav	Corylus avellana	10%	5/m	40-60cm (BR)
82	Cmo	Crataegus monogyna	85%	5/m	40-60cm (BR)
5	la	Ilex aquifolium	5%	5/m	40-60cm (2L)

Native Shrub Mix					
Number	Abbreviation	Species	Mix %	Density	Height
33	Cav	Corylus avellana	20%	11/m ²	60-80cm (BR)
82	Cmo	Crataegus monogyna	50%	11/m ²	60-80cm (BR)
17	la	Ilex aquifolium	10%	11/m ²	60-80cm (3L)
33	LIGVU	Ligustrum vulgare	20%	11/m ²	60-80cm (BR)

Pond Planting Schedule
All aquatic species listed below subject to availability.
All plugs to be planted at a density of 9 plants per Sq.m of 7cm plugs in groups of 5-7 same species. Some species will prefer to be in drier conditions, whilst others prefer the damp, boggy soil at the waters edge. Emergent plants should be planted in the water column to a planting depth of 0-60cm (See Depth Below)

- Taller Aquatic Plants**
- 10% Stachys palustris - Marsh woundwort - 0-20cm depth
 - 15% Lythrum salicaria - Purple loosestrife - 0-10cm depth
 - 10% Iris pseudocorus - Yellow flag iris - 0-30cm depth
 - 5% Caltha palustris - Marsh marigold - 0-60cm depth
 - 25% Carex acuta - Slender Tufted Sedge - 0-15cm depth
 - 15% Juncus effusus - Soft Rush - 0-20cm depth
 - 20% Eleocharis palustris - common spike-rush - 0-10cm depth
 - 100% Total





KEY

- Existing Trees Retained
- Proposed Trees In Soft Landscaping (Tree Pit Type 2)
- Proposed Germinal Amenity A9 Sown @ 20g/m²
- Proposed Germinal Amenity A9 See Drawing [EML PEL 1099 01](#)
- Existing vegetation
- Area of Future Grave Yard Extension

1.0 DRAWING INFORMATION

- 1.1 This East Midlands Landscaping drawing is based upon: Robert Limbrick Architects
Drawing: 002-61505-RLL-XX-01-DR-A-L(9)010-X Proposed Site Plan

2.0 LANDSCAPING SPECIFICATION

- Prior to construction of the mound existing topsoil shall be stripped from the base of the mound, (treated prior to stripping as per clauses 220 and 221 of Enderby Associates soft landscaping specification - April 2019).
- Mound slopes not to exceed 1:3
- Mound to be constructed from clean subsoil layed and consolidated in layers and slopes shall be evenly graded out into adjoining existing ground levels and the mound shall have a rounded toe and crest. **"It is very important on constructing soil layers that the subsoil is not compacted to avoid run-off and waterlogging around the base/toe of the mound"**.
- The mound should be constructed of upper horizons of site-won subsoil, avoiding the use of heavy clay (Refer to Ground Investigation report - Hydrock MLC-HYD-XX-GI-RP-G-1000 - 22 February 2019)
- Finished with a 150mm deep layer of topsoil BS:3882 2015 Specification
- Seeded with Germinal Amenity A18 @ 35g/m²

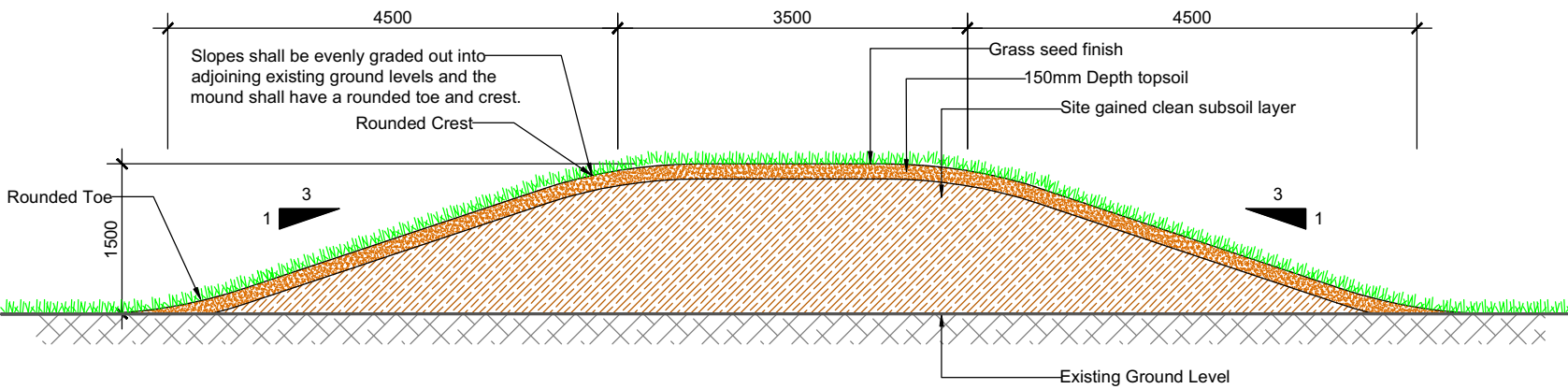
3.0 WATERING

- 3.1 All seeded areas will rely on natural germination & precipitation.

4.0 MAINTENANCE

- 4.1 Once seed has established to a height of 75mm cut to 50mm and remove cuttings from site.
4.2 Allow minimum 4no. visits per annum

RAISED BUND DETAIL SECTION A-A 1:50



Rev:	Comments:	Date:
C1	Updated to show new trees	16.12.2021

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Landscape Design, Management & Consultancy

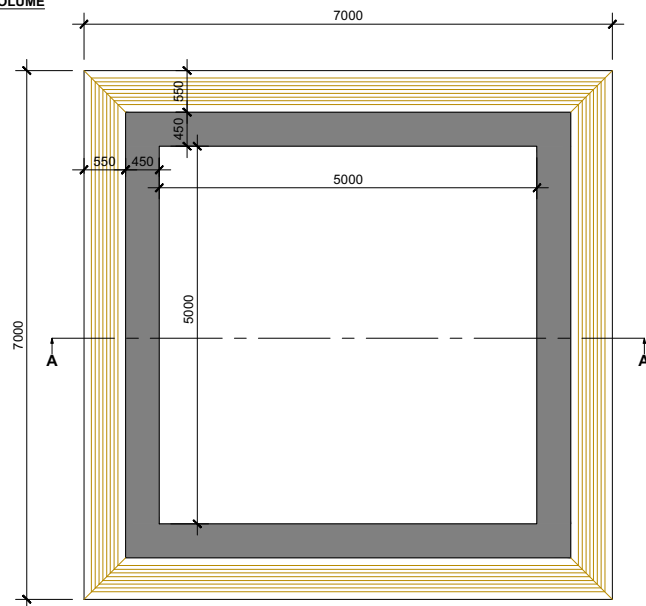
Title:	Raised Bund Landscaping Plan
Client:	Pellikaan Construction Ltd
Project:	Melksham Community Campus Melksham House, 10 Thornbank, Melksham SN12 6ES

DWG No. EML PEL 1099 02

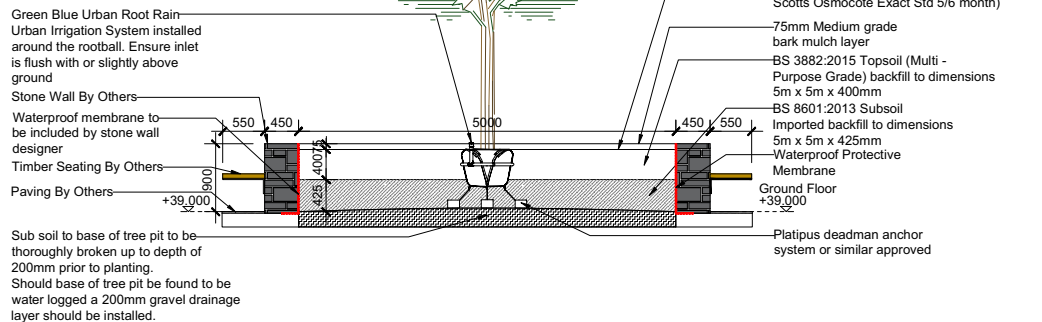
Status;	Construction	Date;	09.10.2020
Drawn;	JG	Revision;	C1
Checked;	JK	Scale;	See Drawing @ A2

The Knoll, Leicester Road, Earl Shilton, Leicester, LE9 7TJ
Tel: (01455) 850250
email: jon.king@eastmidlandslandscaping.co.uk

**TOTAL ROOTING VOLUME
PER TREE 21m³**



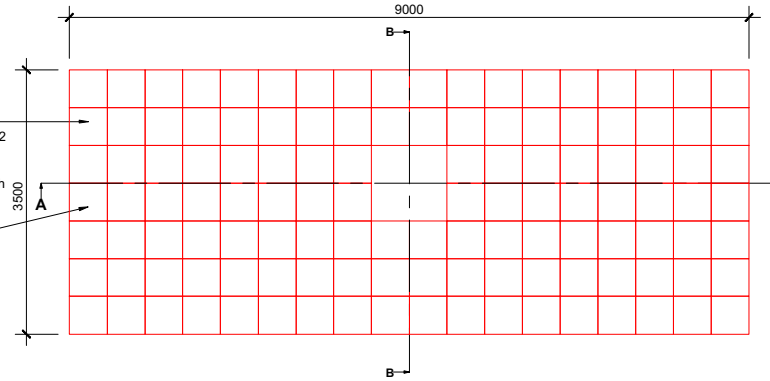
**TOTAL ROOTING VOLUME
PER TREE 21m³**



**TOTAL ROOTING VOLUME
PER TREE 18.9m³**

RootSpace structure - 1 upright deep x—
18 uprights across x 7 uprights wide (1 x 2
x 2 module void below root ball)
Incorporate side panels to tree pit
perimeter to increase strength loaded with
Arborsoil Hydro C/W Airflow deck

RRARBV150B Arborvent 150 single inlet-aeration system with cast inlets fitted to RootSpace Airflow inlet. (An Aeration Manifold will need to be fitted to position the Root Space Airflow inlet in line with above paving design)



TOTAL ROOTING VOLUME PER
TREE 18.9m³

Incorporate Rootstart Mycorrhiza - apply to tree pit at time of planting in accordance with manufacturers recommendations - allow 200g per tree.

RD1000-RSA RootSpace RootDirector,
medium, modular root barrier system

Back filled with BS3882 sandy loam topsoil

RRARBV150B Arborvent 150 single inlet
aeration system with cast inlets
fitted to RootSpace Airflow inlet.

RootSpace structure - 1 upright deep x
18 uprights across x 7 uprights wide
(1 x 2 x 2 module void below
RootDirector) loaded with BS3882
Topsoil & RootStart Tree Fertiliser, c/w
Airflow deck with side panels

GRN20 plastic open reinforcing mesh, 20mm aperture laid below and around sides of RootSpace structure

Additional twinwall GeoNet (GLTWGNA) to be installed where sub-base is installed below 3% CBR - Minimum 2%

Drainage layer - minimum 200mm depth.
Must be washed 10-20mm angular
aggregate with no fines laid as flat as
possible

ULLSSP6A Ullswater vertical steel tree guard 1.8m high x 600mm diameter secured to grille

AVON12A Avon DTS tree grille 1200 x 1200mm c/w RootRain irrigation inlet finished with pea gravel
Geotextile membrane layer below

Galvanised tree grille support frame set on concrete haunch

- Concrete haunch to engineers detail
- Paving to engineers detail

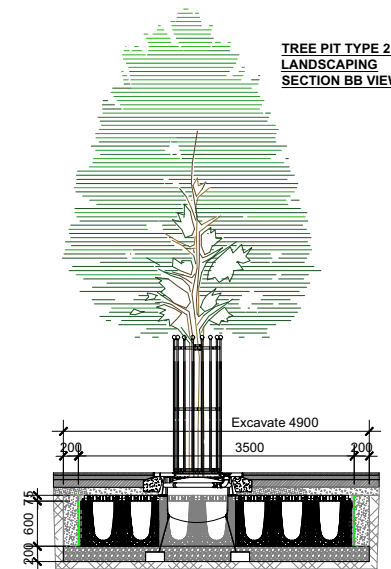
CLIMATE: *subarctic*

MOT type 3 (SWH Clause 805)
to all sides of tree pit compacted

Indicative drainage installed below RootSpace to engineer's detail

strapped anchor system c/w deadman plates
strapped anchor system c/w
deadman plates

Sub soil to base of tree pit to be thoroughly broken up to depth of 200mm prior to planting



NOTE:
SEE EML PEL 1099 01 FOR LANDSCAPING
DETAILS

TREE PIT DESIGNS TO BE CHECKED BY ENGINEERS FOR COMPLIANCE WITH WEIGHT LOADING REQUIREMENTS

Rev:	Comments:	Date:
F	Construction change to planter	07.12.21
E	Construction Issue	30.11.21
D	Changed MOT specification	12.10.21
C	Changed as per latest comments	21.07.21
B	Changed as per latest comments	07.07.21
A	Changed as per latest comments	06.04.21

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Landscape Design, Management & Consultancy

Title:	Tree Pit Details
	Sheet 1 of 2
Client:	Pellikaan Construction Ltd
Project:	Melksham Community Campus Melksham House, 10 Thornbank, Melksham SN12 6ES

DWG No. EML PEL 1099 03

Status;	Construction	Date;	17.11.2020
Drawn;	JG	Revision;	F
Checked;	JK	Scale;	1:50/1:20 @ A1

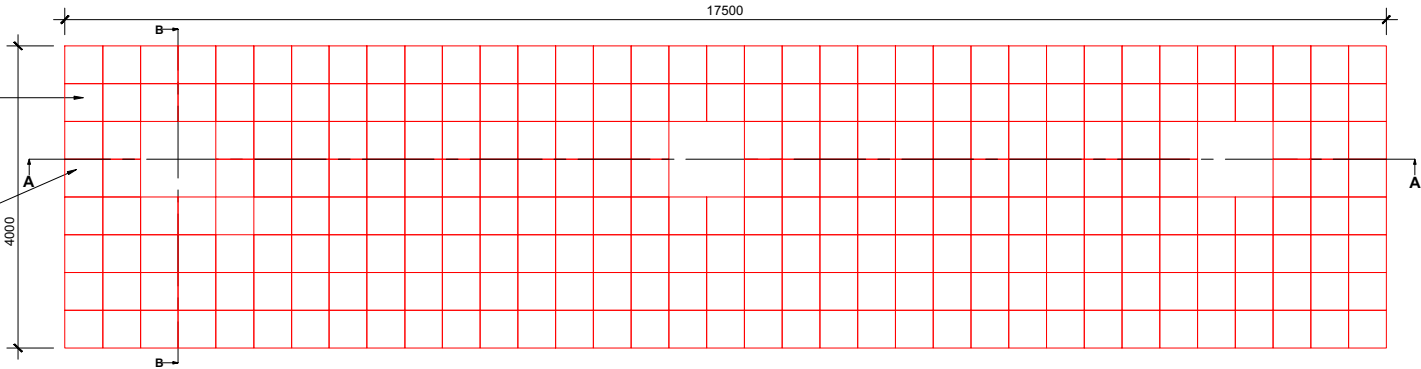
The Knoll, Leicester Road, Earl Shilton, Leicester, LE9 7TJ
Tel: (01455) 850250
email: jon.king@eastmidlandslandscaping.co.uk

TREE PIT TYPE 3
HARD LANDSCAPING
PLAN VIEW 1:50

TOTAL ROOTING VOLUME
FOR LINEAR PIT 42m³

RootSpace structure - 1 upright deep x 35 uprights across x 8 uprights wide (1 x 2 x 2 module void below root ball)
Incorporate side panels to tree pit perimeter to increase strength loaded with Arborsoil Hydro C/W Airflow deck

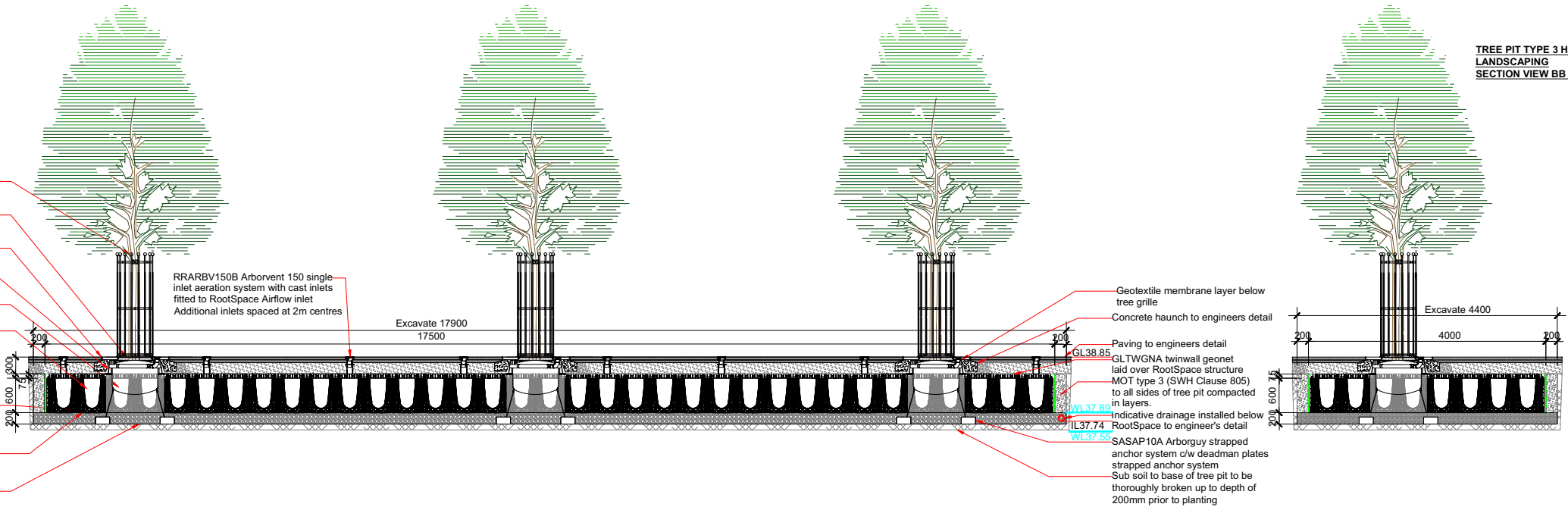
RRARBV150B Arborvent 150 single inlet aeration system with cast inlets fitted to RootSpace Airflow inlet.
(An Aeration Manifold will need to be fitted to position the Root Space Airflow inlet in line with above paving design)



TREE PIT TYPE 3
HARD LANDSCAPING
SECTION AA 1:50

TOTAL ROOTING VOLUME
FOR LINEAR PIT 42m³

NOTE:
Incorporate Rootstart Mycorrhiza - apply to tree pit at time of planting in accordance with manufacturers recommendations - allow 200g per tree.
ULLSSP6A Ullswater vertical steel tree guard 1.8m high x 600mm diameter secured to grille
AVON12A Avon DTS tree grille 1200 x 1200mm c/w RootRain irrigation inlet finished with pea gravel
Galvanised tree grille support frame set on concrete haunch
RD1000-RSA RootSpace RootDirector, medium, modular root barrier system
Back filled with BS3882 sandy loam topsoil
RootSpace structure - 1 upright deep x 35 uprights across x 8 uprights wide (1 x 2 x 2 module void below RootDirector) loaded with Arbor Soil Hydro Topsoil & RootStart Tree Fertiliser, c/w Airflow deck with side panels
GRN20 plastic open reinforcing mesh, 20mm aperture laid below and around sides of RootSpace structure
Additional twinwall GeoNet (GLTWGNA) to be installed where sub-base is installed below 3% CBR - Minimum 2%
Drainage layer - minimum 200mm depth. Must be washed 10-20mm angular aggregate with no fines laid as flat as possible

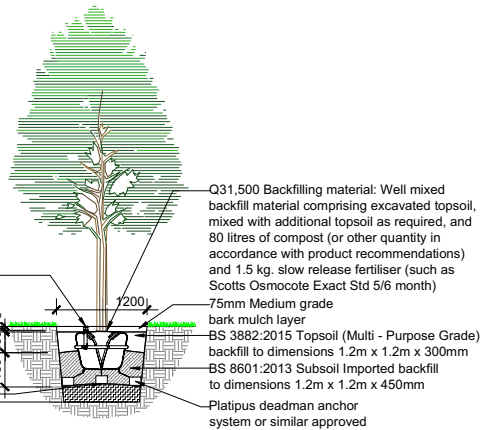


TREE PIT TYPE 3 HARD
LANDSCAPING
SECTION VIEW BB 1:50

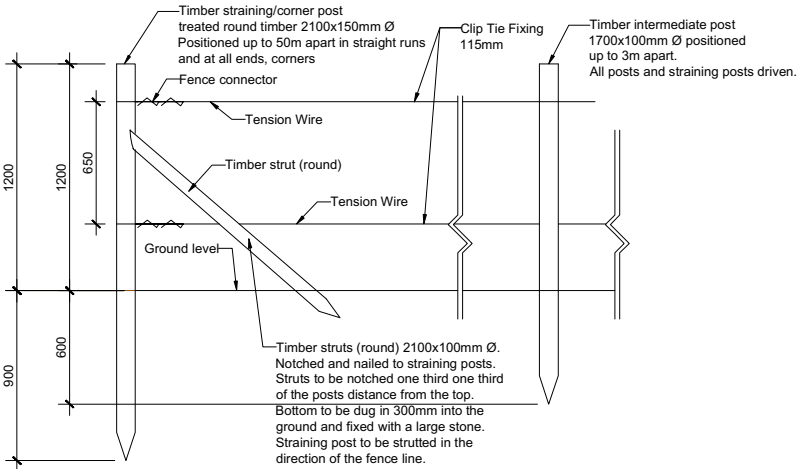
TREE PIT SOFT LANDSCAPING

Green Blue Urban Root Rain Urban Irrigation System installed around the rootball. Ensure inlet is flush with or slightly above ground

Sub soil to base of tree pit to be thoroughly broken up to depth of 200mm prior to planting.
Should base of tree pit be found to be water logged a 200mm gravel drainage layer should be installed.



HEDGEROW PROTECTION FENCING 1:20



NOTE:
SEE EML PEL 1099 01 FOR LANDSCAPING DETAILS

TREE PIT DESIGNS TO BE CHECKED BY ENGINEERS FOR COMPLIANCE WITH WEIGHT LOADING REQUIREMENTS

Rev:	Comments:	Date:
C1	Changed as per latest comments	16.12.21
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 <h1>East Midlands Landscaping Limited</h1> <hr/> <h2>Landscape Design, Management & Consultancy</h2>		
Title:	Tree Pit Details & Hedge Support Sheet 2 of 2	
Client:	Pelikaan Construction Ltd	
Project:	Melksham Community Campus Melksham House, 10 Thornbank, Melksham SN12 6ES	
DWG No. EML PEL 1099 04		
Status:	Construction	Date: 17.11.2020
Drawn:	JG	Revision: C1
Checked:	JK	Scale: 1:50 @ A1
The Knoll, Leicester Road, Earl Shilton, Leicester, LE9 7TJ Tel: (01455) 850250 email: jon.king@eastmidlandslandscaping.co.uk		