

# **Cooper & Withycombe**

CONSULTING ENGINEERS & BUILDING SURVEYORS

**Rushmoor Borough Council  
Farnborough Community Centre  
Ellis Hall  
Meudon Avenue  
Farnborough  
GU14 7LE**

## **Structural Survey and Assessment Report**

**March 2020**

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**1.0 Introduction**

- 1.1 This Structural Survey and Assessment Report has been prepared at the instructions of Mr Graham King acting on behalf of the Rushmoor Borough Council.
- 1.2 It is proposed to demolish the existing building on site for redevelopment. The purpose of this Report is to provide structural information, where this is available or identified from visual inspection to assist in the planning and safe execution of the demolition work.
- 1.3 This Report follows the guidance set out in HSE Safety Topics on Structural Stability during Alteration, Demolition and Dismantling to identify:
- The age of the structure.
  - Previous use
  - Type of construction
  - Any nearby buildings or structures
- 1.4 This Report is based on a visual inspection of the accessible part of the building structures from ground level only or internal floor levels. Except for general comments, no detailed condition inspection has been carried out as part of this survey and assessment.
- 1.5 It is understood the following investigations have been undertaken and are available for inspection by the appointed demolition contractor:
- Asbestos Survey
  - Environmental Assessment
- 1.6 In accordance with our standard practice we must point out that this Report is based upon our inspection of the premises and any information made available to us, both written and oral, which we have assumed to be correct. The Report is for the benefit of Rushmoor Borough Council and their professional adviser. Cooper & Withycombe Ltd cannot accept any liability to any third party for the whole or part of its content.

**2.0    The site and surroundings**

- 2.1    Ellis Hall Community Centre is located in the centre of Farnborough. It is positioned within an area of parkland on the west side of the main central roundabout on the A325 in the centre of Farnborough. To the north is the retail area of Farnborough, to the south is Meudon Avenue beyond which is Rushmoor Borough Council's offices and the boundary to Farnborough Airfield.
- 2.2    The Community Centre is a single building incorporating the Community Centre and ancillary areas of meeting rooms and staff rooms. Attached to it at the north-east corner is the Citizens Advice Bureau (CAB) building. All the buildings are now no longer in use.
- 2.3    On the north side of the building there is predominantly an area of parkland and public footpaths with a pond fairly close to the north elevation of the building. On the west elevation there is an area of drop-off and parking. Alongside the south elevation there is an access road to a carpark at the rear, east side of the building. All the roadways and carparking areas are block paved.
- 2.4    At the rear of the building there is an electricity substation. This is enclosed within a brick wall and timber fence alongside an extended part of the rear of the building. This electricity substation remains in use.
- 2.5    Around the building there are drainage routes indicated by the manholes around the building. There are also road gulleys receiving surface water from the parking and roadway. Rainwater pipes from the building generally discharge into the pipe connections within the ground. The full extent of the drainage system around the building is not known.
- 2.6    Presently the site is enclosed with timber hoarding. This is accessed on the south-west corner by a double gate from the main access road to the Community Centre.
- 2.7    Beyond the fence there are trees surrounding the site. It is believed that none of these are the subject of any preservation orders. They appear to comprise willow tree, silver birch and other species.
- 2.8    There are also numerous cabinets attached to the building. The full purpose of these is now known.
- 2.9    The site and surroundings are illustrated in photographs in Appendix A.

3.0 **Building Structures**

3.1 A visual inspection was made of accessible parts of the building to identify the nature of the building structure and any particular structural features that may affect its alteration or demolition. Internally, access was restricted to the Community Hall part of the building only.

3.2 The plan of the building is shown in Appendix B. Details of the structure are not recorded on this drawing.

3.3 The exterior and interior of the building are further illustrated in the photographs in Appendix A.

3.4 **General**

- The Community Centre is a mixture of predominantly two-storey building with single-storey infills and two-storey extensions.
- There are brick elevations in stretcher bond brickwork with string courses of brick-on-edge.
- It is of masonry constructions with slate tiled pitched roofs supported on timber roof structures.
- Internally there is a solid ground floor. This appears to be generally at a single level although it is not certain whether in the CAB building there is a slightly elevated floor level.
- First floors are generally of concrete construction.
- The staircases are of concrete construction.

3.5 **Roofs**

- The principle roofs are generally of hipped construction with eaves level gutters and enclosed soffits.
- The roofs to the extensions to the original part of the building appear to cascade down from the original ridge level, both at the front and the rear.
- At junctions between the individual roofs there appear to be lead-lined valley gutters.
- All hips appear to be covered with slate hip tiles.
- The ridges also appear to be covered with slate tiles.
- Overall, the roofs appear to be in sound condition.
- There are lead flashings at abutments between lower roofs and brickwork. These also appear to be in reasonable condition.
- Within the building there are two enclosed areas with flat roofs, one above the ground floor (original) one at first floor above an infill extension.

3.6 **Front elevation (west)**

- Central entrance below portico into single-storey link building. This is of cavity masonry construction with clay facing bricks.
- To the left there is a two-storey extension to the building, slightly lower than the extension on the right-hand side. This extension connects to the main part of the original building.

- To the right-hand, south side, there is a more modern two-storey extension in a similar construction.

### 3.7 North elevation

- This comprises the two-storey section for the main Community Centre. At the rear (north-east) corner there is a single storey building for the CAB.
- The extended wing at the west end is of clay facing brick with brick-on-edge string courses and brick-on-edge window heads and sills.
- This continues to the next section which is the original part of the Community Centre. At the centre of this section there is a chimney stack which extends above the roof of the building.
- Midway along the wall there is a recess to step access into the Community Centre.
- In this recess there is a junction between the rear two-storey extension to the Community Centre and the original core building.
- The Community Centre extension is of modern clay facing brick. This appears to have a suspended ground floor as there are airbricks along the face of the wall.
- At the rear corner of the Community Centre there is stepped and ramped access to the main access doorway.

### 3.8 Rear east elevation

- This has a mixture of buildings.
- At the left-hand (south) end there is a single-storey extension to the building together with a walled compound for the electricity substation. Behind this there is a recess with brickwork to the ground floor storey with the remains of an original flat roof with. Above it a rendered wall with a flat roof infill extension. Hidden alongside the infill extension there is a flat roof over the ground floor toilets. (It has not been possible to view this area as it is sealed off.)
- To the north of the enclosure there is a two-storey extension to the building. This is set at slightly different levels to the other side.
- Attached to the front of this building is a large cabinet. The purpose of this is not known.

### 3.9 South elevation

- This comprises at the west end (front) a more modern extension to the original building separated along the line of a gutter from the original part of the Community Centre. This appears to be extended to the east with a further two-storey extension (although this is not certain).
- In the centre of the main Community Centre there is a chimney that extends above ridge level above roof. There is a further chimney on the rear wall.
- The original Community Centre is of clay facing brick with shaped brick sills to the windows and brick-on-edge headers. There is also an original string course to which is considered to be the original part of the building.

- The front extension is of modern clay brick construction matching the original Community Centre building.

### **Internal - ground floor**

#### **3.10 Room G1 - the community room**

- Brick facing to the west wall.
- Laying tile ceiling.
- Parquet flooring on bitumen d.p.m on solid floor.
- Parquet flooring raised in two areas across the floor.
- Partition in right-hand corner.
- Where a lay in ceiling tile has been omitted the concrete soffit to the slab over can be seen. This is cast in in-situ slab.

#### **3.11 Room G2**

- This is the stair core to the upper floors and incorporating a toilet.
- This has a solid floor and concrete stairs to the upper floor which are enclosed. The concrete stairs continue from the half landing to the upper floor.
- There are vinyl tiles on the floor.
- Walls are plastered.

#### **3.12 Room G3**

- This is accessed via steps from the hallway G2.
- This is a raised floor of timber construction with a void below and vinyl tiles.
- There is a stud partition wall leading into another external area also with a timber suspended floor.
- There is a beam over this room supporting the roof above and possibly a duct

#### **3.13 Room G4**

- The walls are masonry.
- Off of G4 there is a further office with a solid carpet floor with an access hatch into the roof space over.
- The roof over the infill area is of proprietary gangnail trussed rafters.

#### **3.14 Room G5**

- Originally an open yard area to the front of the original building.
- This has now been enclosed as a glazed atrium with a lean-to roof supported on a central steel girder truss spanning between the front wing walls.
- It has glazed mullions supporting the glazing which is supported on the front face of the main building and eaves gutter on the west side. This eaves gutter appears to be supported on four circular hollow steel columns set independently from the front infill building. This implies it was a later construction and loading on the front wall was avoided.

- The ground to this is concrete paving slabs. It is not certain of the base to this.
- Walls around the building are of facing brickwork.
- On the left-hand (north) side the joint is visible between the extended part of the building and the original building. The original building had a feature stone surround to the doorway.
- On the right-hand (south) side there is a similar doorway in the same position relative to the windows. This is recessed behind the later extension to the front.

### **3.15 Room G6**

- This is the main hall to the building.
- It runs the complete width of the original part of the building apart from the corridor on one side.
- At the north end there is raised timber stage set into a recess.
- There is a solid floor covered with vinyl tiles.
- There are solid walls on the west side with windows.
- On the east side there are three arched openings which have been infilled with studwork.
- There are outstand columns along each side of the building aligning with beams above. The beams appear to be of solid possibly concrete construction from the appearance of the soffits.
- It is not certain whether the columns and the beams over are steel encased in concrete or otherwise. It is also likely the piers may be of solid masonry construction concealed by render.
- The concrete frame to the first floor provides vertical stability to the external walls.

### **3.16 Room G7**

- This is an ancillary room located off the main hall.
- There are beams over this area and a central partition wall, which does not continue to full height, in timber frame construction. This has clearly been modified.

### **3.17 Room G8, G9 and G10**

- Ancillary areas to the main hall access originally via the arches.
- It comprises toilets and store areas.
- There is a solid vinyl covered floor.
- There is also access to the under-stair area which rises above it.
- At ceiling level there are a series of downstand concrete beams across the area, some look as though they may have been originally trimming openings. These span possibly on to the internal walls from the columns to the main hall.

### **3.18 Room G14**

- Toilet areas.
- Substantially tiled in the disabled toilet to half height.
- Solid walls with plasterboard ceiling beneath solid floor over.



- Vinyl floor on solid construction.

### 3.19 Room G16

- Link corridor behind the hall.
- This is separated from the hall by a timber stud partition which extends up to the underside of a downstand beam which spans between columns at each end. It is assumed that at some stage this was part of the main hall.
- In the middle of the corridor there is a further downstand beam spanning from the cross beam to the south flank wall. This extends over the adjacent rooms G17 and G18.

### 3.20 Rooms G17 and G18

- Originally a single room now divided by a timber stud partition.
- There is a solid floor vinyl clad.
- There is a plastered ceiling beneath a solid floor above.
- There is a central concrete beam spanning across the external corridor from a further beam along the rear wall of the hallway. This supports the floor over.
- Note in the hallway there are columns at each end of the length of the corridor.

### 3.21 Room G19

- Appears to be part of a later extension.
- This has a flat plasterboard ceiling beneath the concrete insitu slab above.
- There is a carpeted floor of solid construction.
- Walls are plastered.
- No structural issues.
- Off of this area there is a small kitchen. This has a vinyl solid floor with flat ceiling over. The flat ceiling is beneath the pitched roof to the infill area (this is room G12).

### 3.22 Room G20/G21

- This is a bar area with the bar at the east end.
- Whilst there is a doorway access to G22 beyond, this was locked.
- Within G20 on the ceiling there is a soffit of the room over. There are two downstand beams supported on piers at each end across the room spanning from the south flank wall.
- Within the bar there is a lower suspended laying tile grid ceiling.
- There is a solid floor covered with carpet tiles and vinyl floor coverings.

## Internal – first floor

### 3.23 Room F1

- This has a solid parquet floor which is partially lifted. This is on a concrete floor base.

- There solid walls generally to this area. The front/west wall is fair faced brickwork.
- The roof over spans left-right (north-south) and appears to be supported on a central beam.
- In the north-east corner of the room there is a small goods lift. This is within a timber stud enclosure.
- The ceiling joists over appear to have insulation above with possibly a board overlying this. The roof structure itself is not visible. It is assumed there must be trusses or similar which support the ceiling joists in their mid-span.
- There is a stepped access in concrete down to the landing.

**3.24 Room F2 – hallway and landing**

- This is an infill to the landing area.

**3.25 Room F3**

- Timber board floor overlaying the concrete floor below. The timber board are fixed battens to inset into the screed.
- There is a chimney breast on the east side. This continues to the floor below.
- There is no access to the roof space.

**3.26 Room F4**

- This is the main first floor room space over the hall below.
- This has a timber board floor overlaying the concrete floor below.
- There is a chimney breast in a similar position to below but no fireplace.
- Columns do not extend through from below. It is assumed that at this level it is entirely loadbearing masonry.
- There is no access to the ceiling.

**3.27 Rooms F5, F6, F7, F10, F11, F12**

- No access. These are the RV part of the building and no key was available.

**3.28 Room F9 – hallway and staircase**

- Accessed between the areas with the toilet off.
- Concrete floors and stairs.

**3.29 Room F13**

- This is accessed via timber steps to a screeded concrete floor.
- Walls are blockwork between brick piers.
- There is a fully boarded ceiling over.
- The room is divided with enclosures.
- On the west and south sides, the original external wall is visible within the enclosures together with the original windows. This confirmed this is much later infill section.
- It is believed this was built off the flat roof below and the external face of the blockwork may be rendered.

**3.30 Room F14 and F15 - stairwell with a small kitchenette off it**

- The floor is of concrete construction and painted with concrete stairs leading off it.
- There is an infilled window on the north side, part of which can be seen in the adjacent area F13.
- There is access to the roof above but this is at too high a level for sensible access.

**3.31 Room F16**

- This leads off of the landing.
- This has a timber boarded floor similar to that in the room over the main hallways (this may suggest this is of similar date construction to the original part)
- There are two infilled windows on the north side – infilled with timber studwork. A third window remains open.
- There are three windows on the south side.
- There is a plaster ceiling with coving. No access to the roof void above.
- Again, there are no concrete columns at this level similar to those below.

**4.0    Relevant Information**

- 4.1    Limited record drawings are available for the building structures on the site and associated drainage. This does not include details of structure or foundations.
- 4.2    The site has been used solely for community purposes and comprises function halls, meeting rooms and ancillary facilities.
- 4.3    The full history of its development is not known but the building has been extended and altered to extend its facilities.
- 4.4    An asbestos survey is available for the site. This has identified the presence of asbestos containing materials in various locations.
- 4.5    It is understood an environmental assessment has been made of the site. This should be referred to for the presence of any contamination residues that may be affected by the demolition work.
- 4.6    The Planning history for the site from October 1977 is available from Rushmoor Borough Council. This reflects the changes in use and extensions/infills to the building. It also records temporary structures/buildings which are no longer present.

## 5.0 Assessment

### The Building

- 5.1 The history and sequence of development of the Community Centre building has not been fully established for this Report.
- 5.2 From site observations and information available, the following has been inferred: -
- The original two-storey building constructed circa 1930s forms the central core of the building running north-south with an east-west wing attached to the south-east corner.
  - The building had two access doors and stair towers on each of the south and north corners of the front elevation.
  - To the rear of the main hall there was a single-storey WC accommodation store/ancillary space linked to the hall with archway openings linked also to the rear stairway access between the main building and its wing. This area had a flat roof with rooflights.
  - Subsequent extensions/alterations area believed to comprise: -
    - Single-storey flat roof extension over part of the ground floor ancillary space to rear of the hall.
    - Rear two-storey extension on east side of hall, only accessible from door on east elevation. (Now part of CAB complex.)
    - Rear single-storey flat roof extension to rear of bar on south-east corner together with yard wall now part removed. This yard contains the electrical substation.
    - Front two-storey extension attached to stair access at north-west corner. First floor at 'mezzanine' level.
    - Front two-storey extension attached to stair access at south-west corner. Ground floor accessible from centre. First floor accessible by stairway at front.
    - Front infill extension between south and north wings and enclosing front courtyard to original building. This provides a link between the wings and includes the main front entrance to the complex via a portico.
    - Glazed roof to enclose courtyard.
    - Alterations and extension to rear north-west wing for the CAB in 2008 including: -
      - Two-storey infill/extension in the middle of the east elevation enclosing the asphalt flat roof behind.
      - Internal alterations at both first and second floors to wing.
      - Single-storey lean-to extension wrapping around the north-east corner.

### **Structure**

- 5.3 The original two-storey building appears to be of loadbearing masonry construction beneath a pitched slate covered hipped timber roof. For the clear spans it is anticipated this is supported on trusses spanning between external walls.

The first floor and stairs are of solid concrete construction. There is intermediate support with downstand beams (solidly cased in probably concrete or concrete encased steelwork) onto outstand piers on the external walls (either concrete encased steelwork or solid brickwork).

The flat roof extension construction is not known. This incorporates downstand beams to the original skylights – now sealed.

- 5.4 Each of the subsequent two-storey extensions also appear to be of loadbearing masonry, although concealed steel framing cannot be discounted without intrusive investigation.

These buildings also have solid concrete floors. However, for the spans observed, intermediate beams, possibly steel, should be anticipated. Presently all are concealed by ceilings.

- 5.5 The single-storey link infill at the front has a gangnail type trussed rafter roof spanning front-to-rear.

- 5.6 The single-pitch glazed roof to the infill to the courtyard is supported on glazing bars spanning between the original front elevations and a beam/gutter supported on four independent steel circular hollow section posts, which may also contain rainwater downpipes. Intermediate support is provided by a steel girder truss spanning between the side wall of the two front extensions.

- 5.7 There are solid floors throughout the building.

- 5.8 The two most recent extensions to the CAB building appear to incorporate solid suspended ground floors (ventilated) possibly pre-cast concrete.

- 5.9 We have been informed there are no basements to the building. None were observed during the inspection.

### **Structural connections between the building**

- 5.10 Apart from the overlaying roofs, all the extensions appear to be structurally independent except where new openings have been formed between the elements. However, this will need to be verified either prior to or as demolition proceeds.

**Site issues/constraints**

- 5.11 The building is an independent detached complex located with a public park environment. There is direct vehicular access to the front. However, there is less separation on the: -
- North boundary to an adjacent pond.
  - South boundary to the road verge of Meudon Avenue.
- 5.12 There are numerous trees just beyond the hoarding boundary. All or some of these may need to be protected during the works. This will need to be agreed with Rushmoor Borough Council.
- 5.13 The building is surrounded by underground drainage and manholes. Only limited details of these systems are known. Where these serve facilities other than the Community Centre building, these will need to be protected and maintained.
- 5.14 Within the rear, east, elevation, there is a part-enclosed electricity substation. This remains in use and will need to be protected during the course of the works unless otherwise advised.

## **6.0 Conclusions**

- 6.1 There has been a continued development of the original Ellis Hall building over a long period of time. Consequently, there are a variety of extensions and alterations reflecting changes in use and requirement. However, the original core building remains.
- 6.2 Some of the building has been infilled between or against previously existing buildings. As a consequence, whilst it is believed the extensions are independently supported, some of these infill structures and particularly their roofs may rely on the original adjacent structure for both vertical support and lateral stability. Care will need to be taken in their dismantling/demolition in this respect. This may influence the sequence of demolition with the extensions removed first subject to the appointed contractors own demolition plan.
- 6.3 Historic changes have also resulted in the evolution of the complex with internal alterations and extensions. These include:
- Construction of 'wing' extensions to south-west, north-west and north-east corners to the original building.
  - Front elevation single-storey infill building.
  - Infilling of the courtyard with a glazed roof
  - Formation of new openings between original and extended parts.

In undertaking the dismantling/demolition work, the contractor should be aware that there may be structural inconsistencies in this respect.

- 6.4 Within the buildings there are wall claddings that may conceal structural elements. It would be prudent for those to be removed/stripped out as the initial phase of the demolition work to verify the structural details.
- 6.5 An intrusive asbestos survey has been undertaken separately and it is understood this will be available for the appointed contractor. Although not part of our survey it is apparent there may be asbestos containing material on the site and this may affect the sequence of the structural demolition work. There may also be other materials that present a hazard.
- 6.6 The presence or location of any underground structures / tanks is not known. Information regarding this may be available from Rushmoor Borough Council.
- 6.7 Service routes, including drainage, across the site will need to be identified before demolition commences. Shared drainage systems serving other premises/facilities will need to be maintained.
- 6.6 The method and sequencing of the demolition work will need to be developed by the appointed contractor taking account of the nature of the building and safe methods of working in accordance with HSE requirements and Industry standards. Appropriate protection must be provided to the electricity substation



and associated switchgear and cabling throughout the works. A robust enclosure to this area will be required on completion.

**Appendix A**  
Photographs



External front elevation (west)

P 1



North elevation - external

P 2



Rear elevation (east) external

P 3



South elevation - external

P 4



Front elevation – south-west end

P 5



Front elevation - centre

P 6



**Front elevation – north-west end**

P 7



**Front elevation – service box – north-west corner**

P 8



**North elevation – west end**

P 9



**North elevation – view east end**

P 10



**North elevation – east end**

P 11



**North elevation – junction to core**

P 12





**North-east corner - CAB**

P 13



**North elevation – end of original building**

P 14



**North elevation - chimney**

P 15



**Junction of lean-to and rear east elevation**

P 16



**Rear elevation (east)**

P 17



**Rear elevation (east)**

P 18



**Rear east elevation – junction between extensions**

P 19



**Rear elevation (east) service box**

P 20



**Rear east elevation – 1<sup>st</sup> floor infill over single storey**

P 21



**Rear elevation (east) view to south-east corner**

P 22



**Rear elevation – substation enclosure**

P 23



**South-east corner**

P 24





**View along south elevation**

P 25



**South elevation to south-west corner**

P 26



**South-west end – recent extension**

P 27



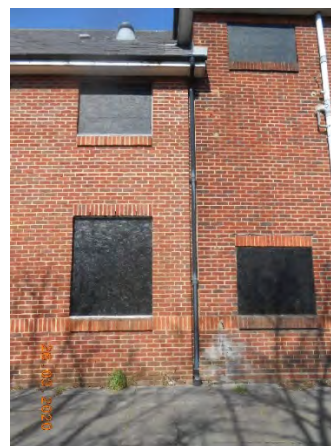
**South-west corner**

P 28



**Junction between front elevation and original**

P 29



**Junction at 2<sup>nd</sup> level**

P 30



**Chimney – south elevation**

P 31



**G5 view south**

P 32



**G5 truss to glazed roof**

P 33



**G5 support to glazing at front**

P 34



**Original entrance to stairway - south**

P 35



**Original entrance to stairway - north**

P 36





**Junction between original (G2) and  
extension (G1)**

P 37



**Roof Junction G5-G4**

P 38



**Roof over G4**

P 39



**Room G1**

P 40



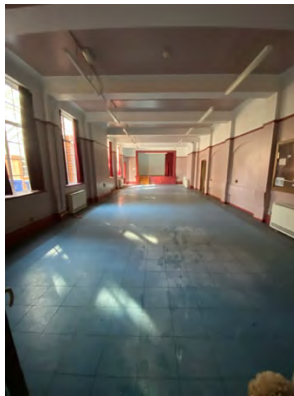
**Room G1 Concrete Ceiling**

P 41



**G3 Stage Area**

P 42



**G3 Room G6**

P 43



**G6 East Wall - Arches**

P 44



**G6 Downstand Beams**

P 45



**G7 Trimming Beams to Flat Roof Over**

P 46



**G9 Underside of Stairs**

P 47



**G16 Corridor – Framing to end of Hall**

P 48



**G19**

P 49



**G20 External wall – Downstand Beam**

P 50



**G21**

P 51



**Room F1**

P 52



**G20 Room F1**

P 53



**Room F4**

P 54





Entrance F4-F13

P 55



F13 Infill Single Storey Store

P 56



F13 Original External Walls Enclosing Store  
P 57



F16

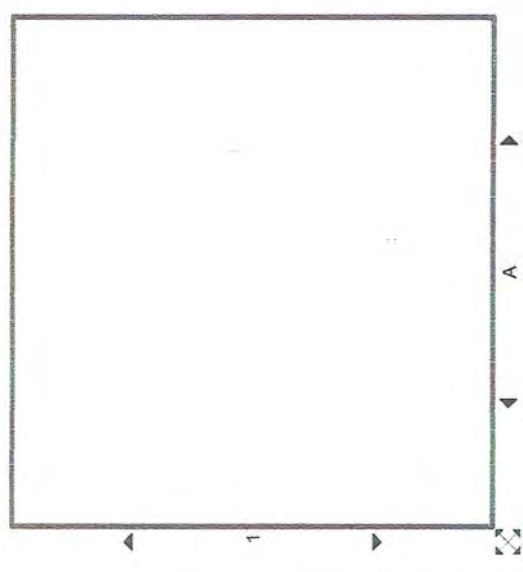
P 59



F16 External Wall

P60

**Appendix B**  
Building Layout



Accommodation	Office	Toilet
Changing/Cloaks	Plant	Training/Teaching
Child Care	Recreation	Unclassified
Circulation	Resource	Utility
Dining	Retail	Vehicle Storage
Kitchen	Sport/Fitness	Workshop
Medical	Store	Worship



350 & / OR STEP



Rev	Description	Drawn	Checked	Date
02	CAB extensions added	BCS	DL	09/04/2010
01	Chimneys added to external wall face	CC	GG	12/07/2007
00	Initial Supply	CC	ARB	05/07/2007

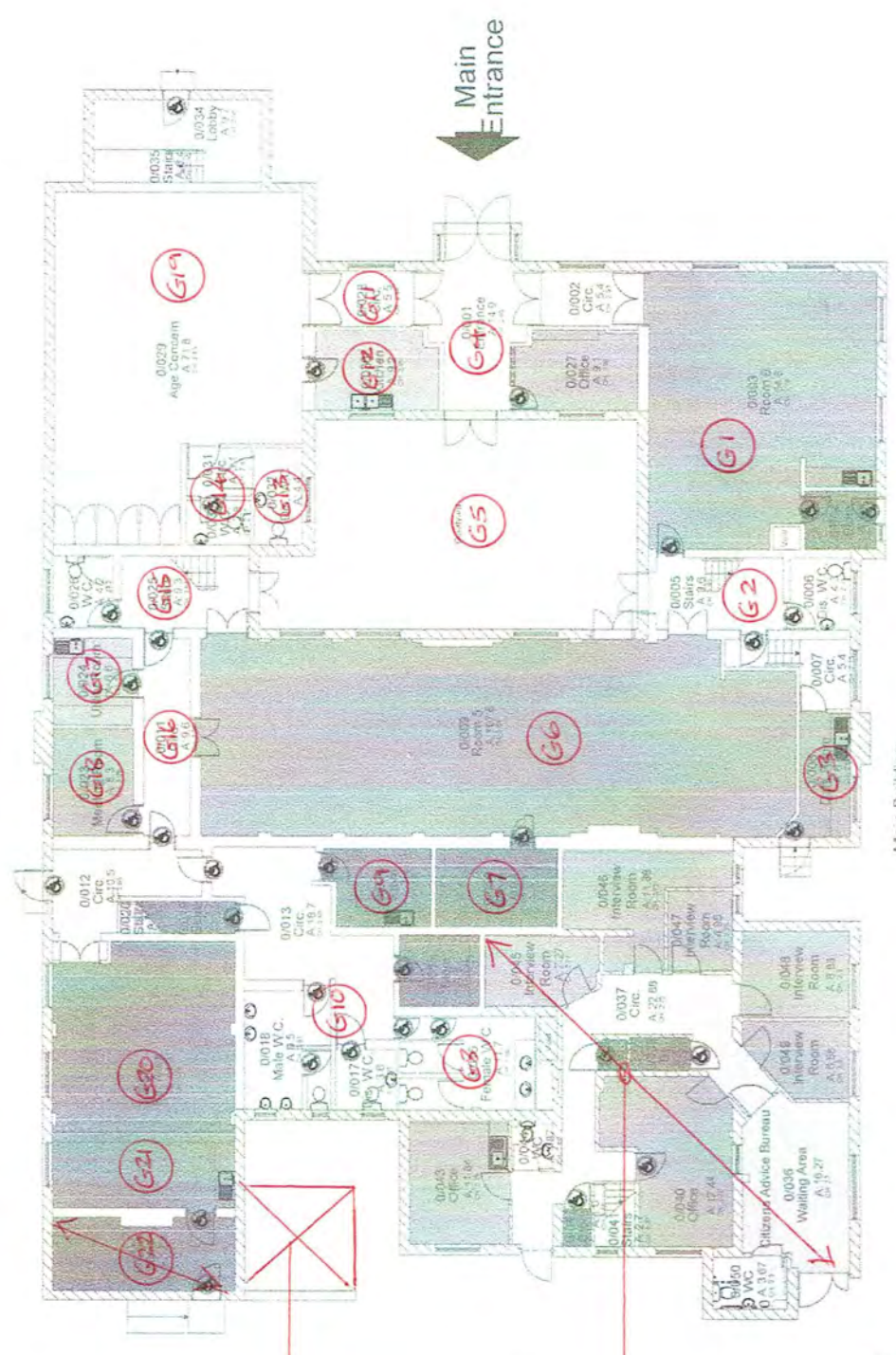
**CAD-CAPTURE**

Greenfield Technology Park - Chillingham Way  
Barnsley - Yorkshire - England  
www.cad-capture.co.uk Tel: 01254 524500

AssetCapture™ www.assetcapture.net Tel: 01254 504450 Fax: 01254 504001

Property: **Farnborough Community Centre**  
Title: **Ground Floor Plan**

Scale:	NOT TO SCALE	Drawn:	CAD-CAPTURE	Filename:	PR009.dwg
Date:	05/07/2007	Checked:	ARB	Drawing No:	PR009
Survey:	19/06/2007	Job:	S3550	Rev:	02



Main Building  
Ground Floor  
GEA: 736.4 GIA: 679.2  
TRA: 601.5 NIA: 403.7

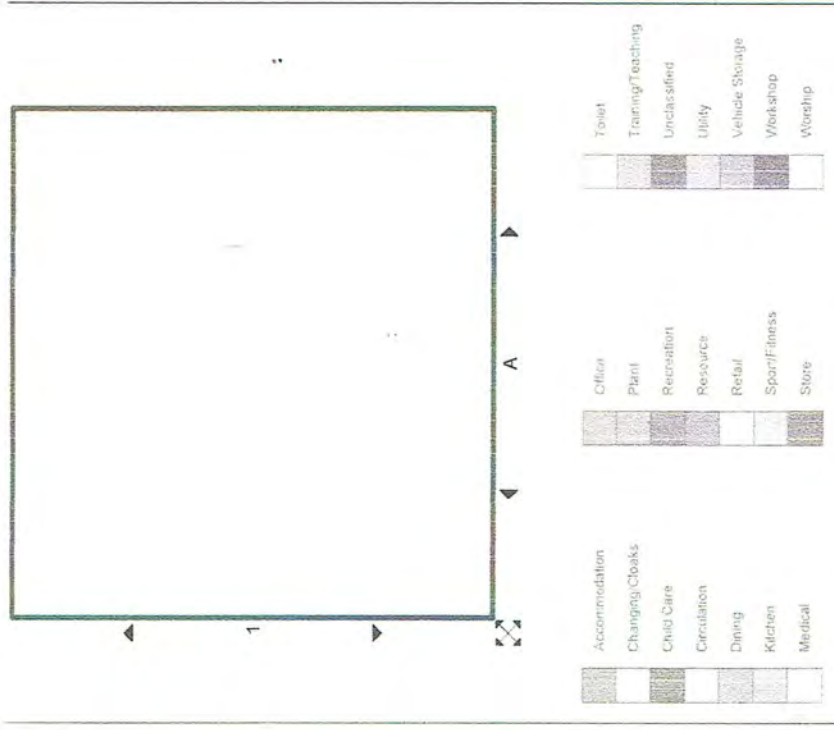
Farnborough Community Centre  
PR009  
PR009  
Site Area: 1405.3  
Gross External Area: 1286.8  
Gross Internal Area: 1184.0  
Total Room Area: 801.5

SEB Electricity Sub-station

No Access

PROJECT	GROUND FLOOR - ROOM REFERENCES	20-2056/01
CLIENT	FARNBOROUGH COMMUNITY CENTRE	C&W
SCALE	RBC	Cooper & Withycombe
DATE	NTS	10/05/07
DATE		14/05/07
DATE		14/05/07
DATE		14/05/07

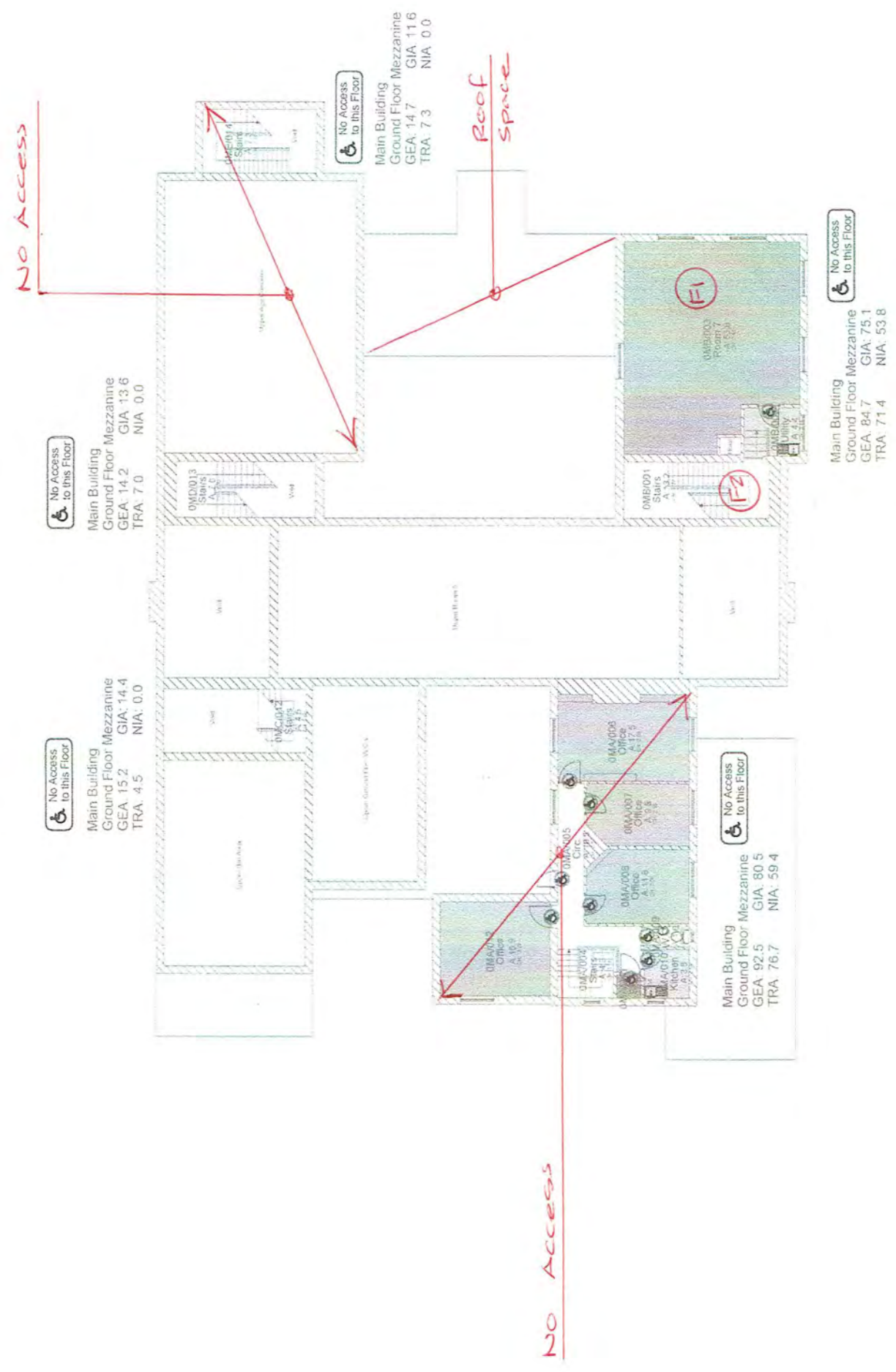




Rev	Description	Drawn	Checked	Date
02	CAB extensions added	BCS	DL	09/04/2010
01	Chimneys added to external wall face	CC	GG	12/07/2007
00	Initial Supply	CC	ARB	05/07/2007

**CAD-CAPTURE**  
Quebank Technology Park - Challenge Way  
Blackburn - Lancashire - BB5 5SR - England  
www.cadcapture.co.uk Tel: 01254 504400

AssetCapture™	www.assetcapture.net	Tel: 01254 504460	Fax: 01254 504401
Property:	Farnborough Community Centre	Drawn:	CAD-CAPTURE
Title:	Ground Floor Mezzanine Plan Sheet A1	Checked:	ARB
Scale:	1:100 @ A1 1:200 @ A3	Job:	S3950
Date:	06/07/2007	Drawing No:	PR009
Survey:	1906/2007	Rev:	02



TITLE	MEZZANINE FLOOR ROOM REFERENCE	DWG No.	20-2056/02
PROJECT	FARNBOROUGH COMMUNITY CENTRE		
CLIENT	REC		
SCALE	25mm:1m	DATE	REV
C&W Cooper & Withycombe CONSULTING ENGINEERS		APPROVED FOR ISSUE	TEL: 01453 891111 FAX: 01453 891111





Rev	Description	Drawn	Chkd.	Date
02	CAB extensions added	BGS	DL	09/04/2010
01	Chimneys added to external wall face	CC	GG	12/07/2007
00	Initial Supply	CC	ARB	05/07/2007

## CAD-CAPTURE

Stentorbank Technology Park - Challenge Way  
 Macclesfield - Cheshire - SK10 5SR - England  
 Tel: 01754 504400  
[www.cadeca.co.uk](http://www.cadeca.co.uk)

AssetCapture™  
www.assetcapture.net  
Tel: 01254 504450  
Fax: 01254 504401

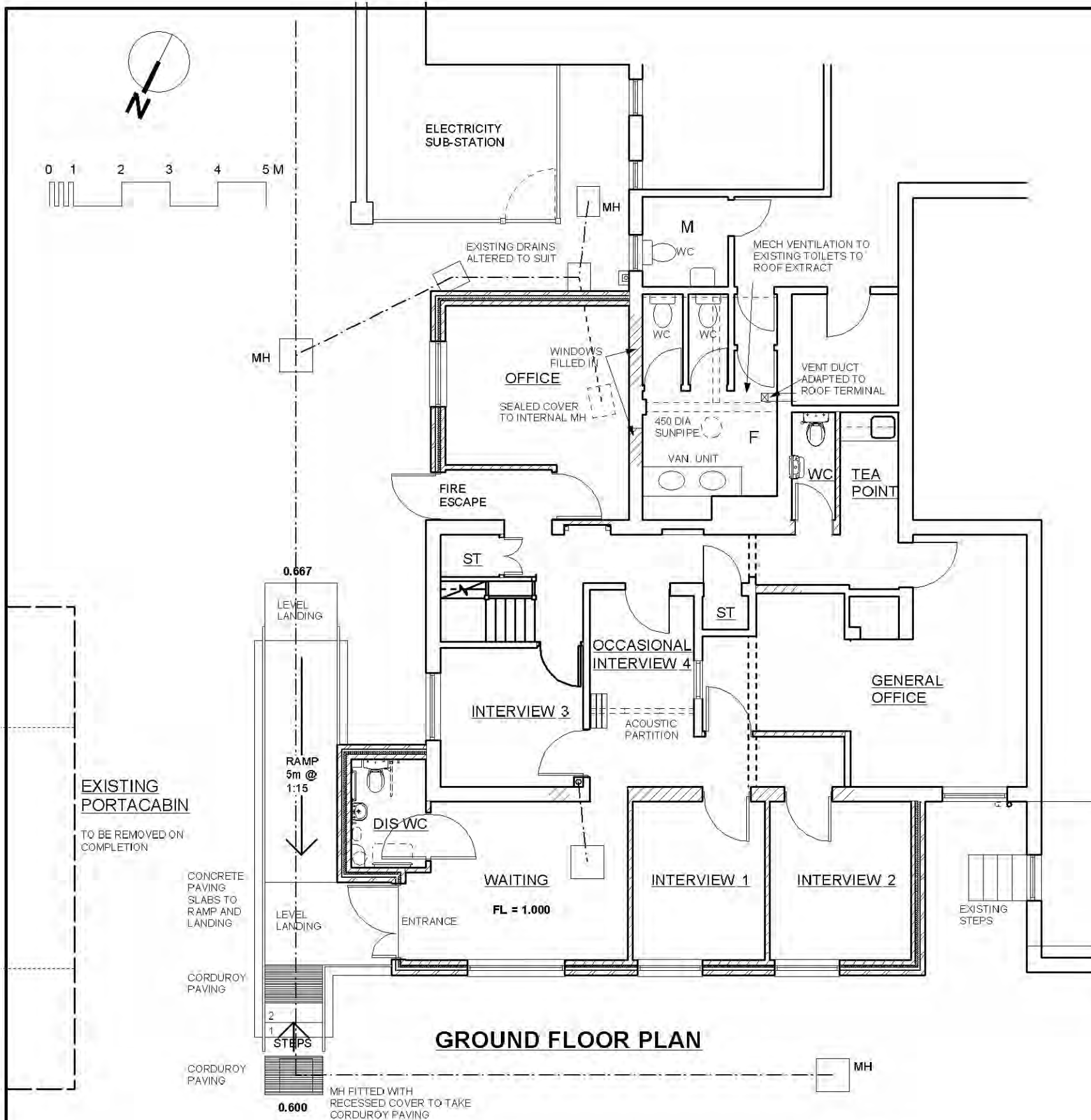
Property: Farnborough Community Centre

Title: First Floor Plan

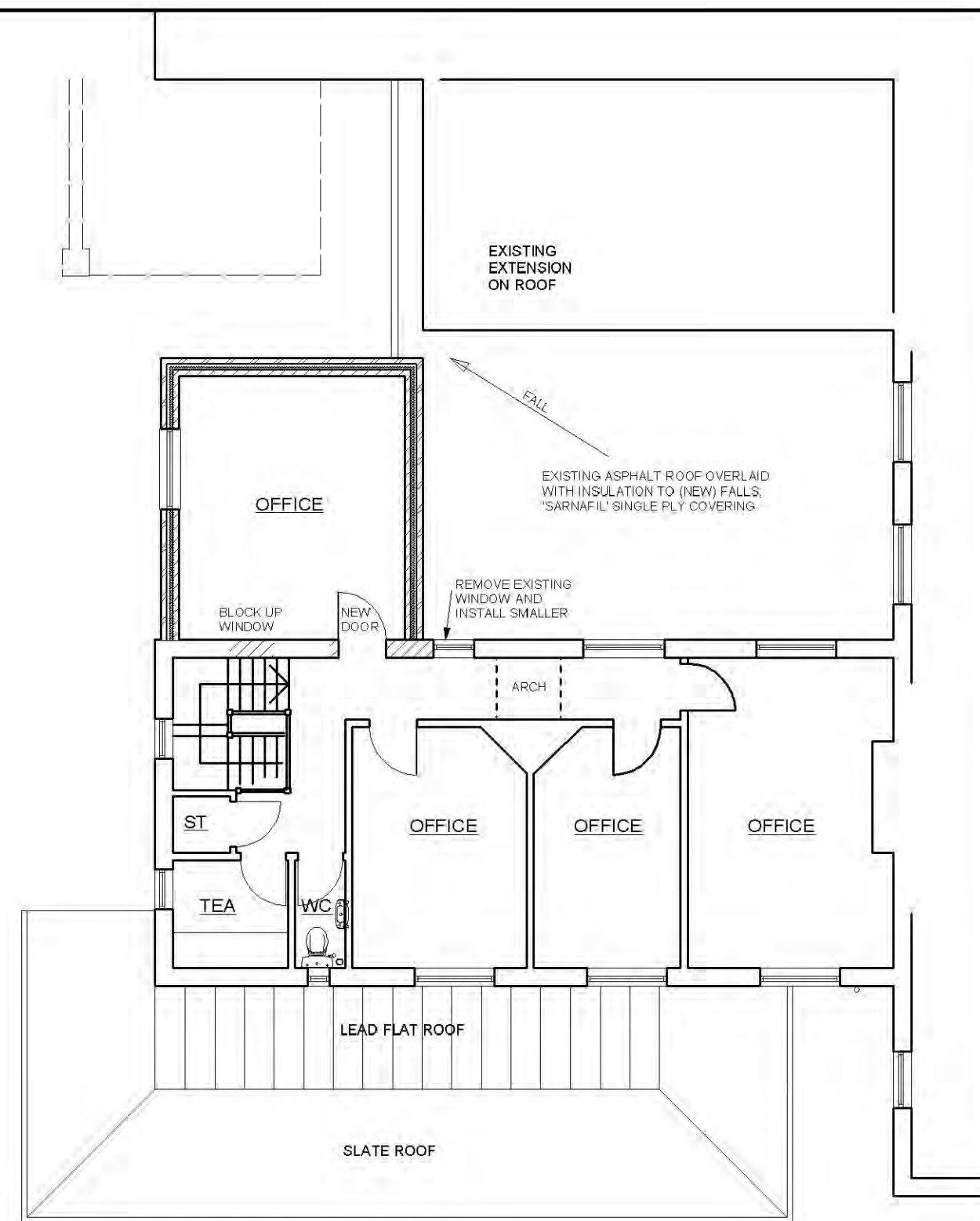
Scale:	NOT TO SCALE	Drawn:	CAD-CAPTURE	Filename:	PR009.dwg
Date:	06-07-2007	Checked:	ARB	Drawing No:	PR009
Survey:	19/06/2007	Job:	S3940	Rev	02

TITLE FIRST FLOOR - ROOM REFERENCE	PROJ# FARM BOROUGTH COMMUNITY CENTER	C&W Cooper & Withycombe	20-2056/03
SCALE NTS	CLIENT REC	CONSULTING ADDRESS 100 W 111 ST CHICAGO, IL 60607	TEL: (312) 425-2910 FAX: (312) 425-5099
DRAWING NO. 1	DATE 10/1/03	REV 1	20-2056/03





**GROUND FLOOR PLAN**



**FIRST FLOOR PLAN**

Rev Date Revision Notes

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Do not scale - ask for dimension. Check dimensions on site - report discrepancies.

**BCS**

BAKER CONSULTING SERVICES

Belgravia House, High Street,  
Hartley Wintney, Hants RG27 8NS  
T: 01252 844699 F: 01252 844927

Client  
Rushmoor Borough Council  
Job Title

CITIZENS AVICE BUREAU  
ELLES HALL, FARNBORO'

Drawing Title

PROPOSED  
FLOOR PLANS

Job No. 3196  
Drawing No. PL-03  
Scale: 1:100  
Sheet size: A3  
Drawn: H Date: Oct 2008  
Status: Planning App