



NEW ISLINGTON MILL No. 294

ARCHITECTURAL EMPORIUM Ltd  
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 ADDRESS: 13 Hope St, Liverpool, L1 9BQ  
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Damage to render likely caused by lack of rainwater pipe above or insufficient coping overhang

Existing UVPC double glazed windows

Existing single glazed timber windows with top hung openers.

Existing cementitious render with white painted finish

Existing blocked up openings

EX.01



Existing blocked up openings

Existing cementitious render

EX.02



Existing window sill

EX.03

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PHOTO APPENDIX\_01



EX.04



EX.05



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Existing parapet to corner building in need of structural repairs

Existing eastern gable



EX.06

Existing water tower of Wilmington Mill behind

Existing Engine house

Existing corner building

Existing low level arched openings behind vehicle

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PHOTO APPENDIX\_02

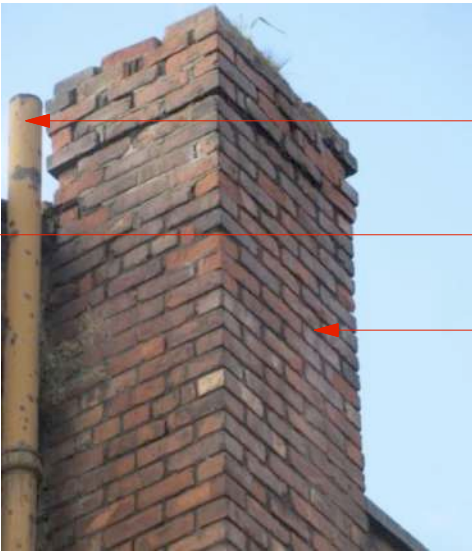




Existing extract to be removed

Existing single storey outrigger to be demolished with all redundant services removed

EX.07



Existing soil vent pipe to be removed

Existing single storey outrigger to be demolished with all redundant services removed

Existing chimney stack in need of repairs. Refer to condition survey for further details

EX.08

EX.09



Existing timber goods door with lifting beam above.

Existing stables. Refer to ownership plan 0.004

Typical existing external lighting

Existing refuse arrangements

EX.10





EX.11



EX.12



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Existing timber goods door with lifting beam above.

Existing painted signage to be retained

Existing refuse arrangements



EX.13

Existing failing rain water goods.

Existing timber single glazed windows

Existing blocked up window openings with temporary artwork in front

Existing soil vent pipe to be removed

Existing timber shed to be removed

Existing shared courtyard



EX.14



EX.15

Existing soil vent pipes to be removed.

Existing cantilevered structure

Existing cobblestones to courtyard.

Existing main entrance to building.

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PHOTO APPENDIX\_04





EX.16



EX.17



EX.18



EX.19



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Existing main entrance to building.

Existing fire escape

Existing non compliant steel fire escape stair.

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PHOTO APPENDIX\_05



EX.20



EX.21



EX.22



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Existing soil vent pipes to be removed

Typical north elevation failing rain water pipe to be replaced. Existing masonry behind to be repointed where required using matching lime render with mortar beds to match the existing.

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Junction between pitched roof and flat roof of New Islington Mill

Current rain water pooling on flat roof build up

Roof lantern felted over

EX.23



Pitched roof of corner unit behind

Existing barbed wire to top of parapet to be removed

Current rain water pooling on flat roof build up. Debris to be removed.

EX.24



Existing roof access from current lift shaft. No door present.

Soil vent pipes to be removed

EX.25

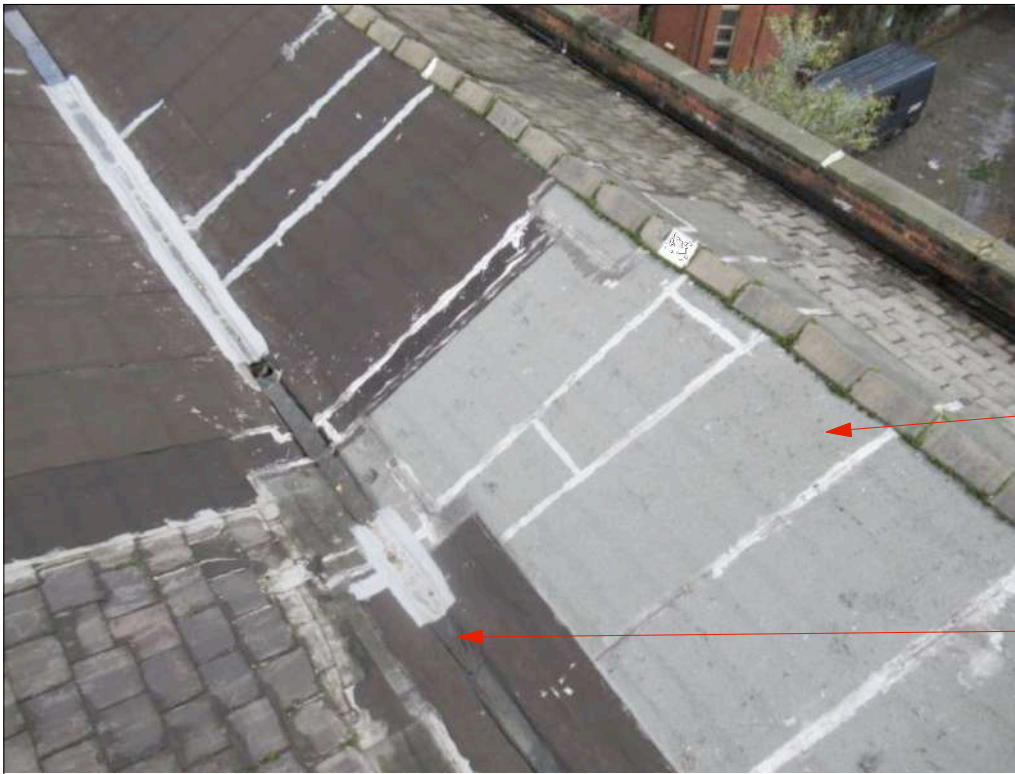
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PHOTO APPENDIX\_07





EX.26

Existing pitched roof with numerous repairs over existing roof slates

Existing valley gutter to roof



EX.27

Existing pitched roof from south



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PHOTO APPENDIX\_08





INT.01



INT.02



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Existing building services at ground floor level.

Existing typical corridor at ground floor level

Existing exposed concrete floor finish



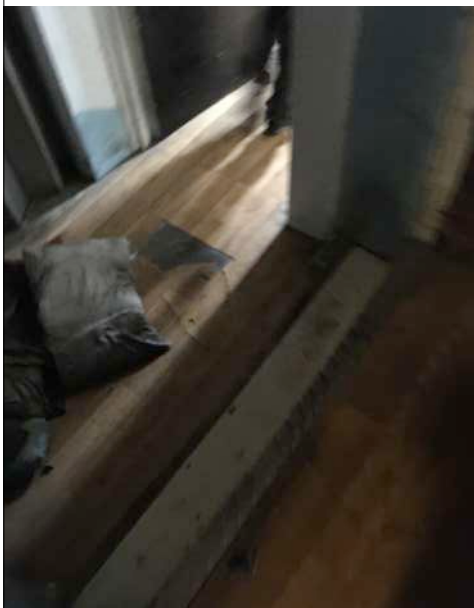
INT.03



INT.04

Existing entrance from south elevation

Existing lift shaft not in use



INT.05



INT.06

Existing typical vinyl floor finish

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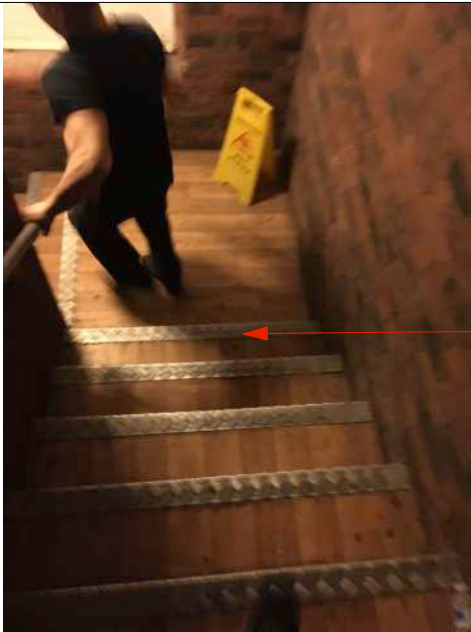
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PHOTO APPENDIX\_09





INT.07



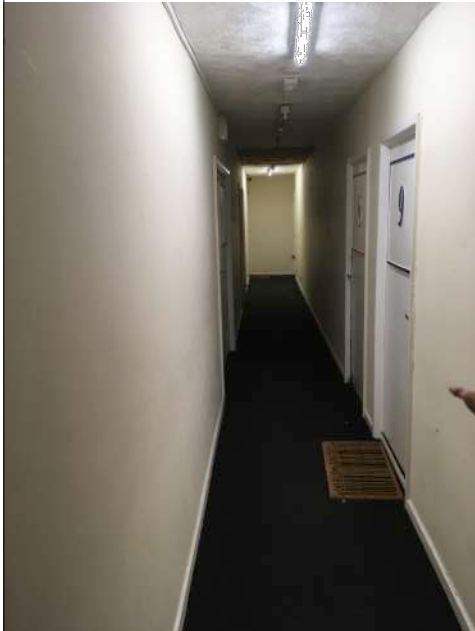
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Existing main staircase with vinyl floor finish and steel nosings to be removed and replaced



INT.09



INT.10

Existing typical corridor to ground and second floors with cellular rehearsal rooms off.



INT.11

Existing adhoc acoustic improvements made to studios.

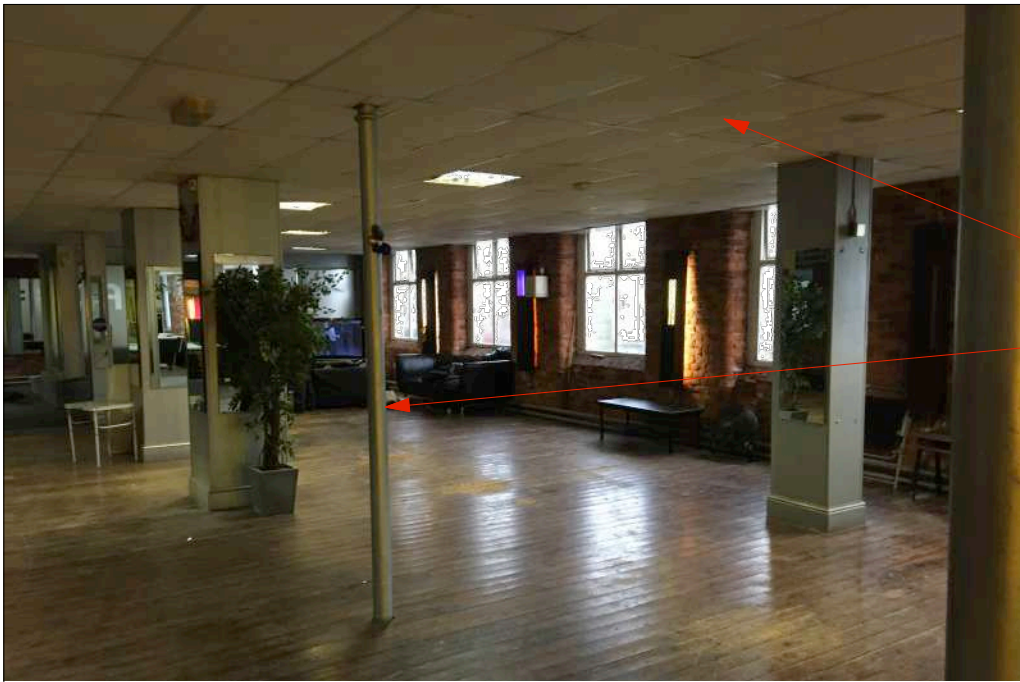
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PHOTO APPENDIX\_10





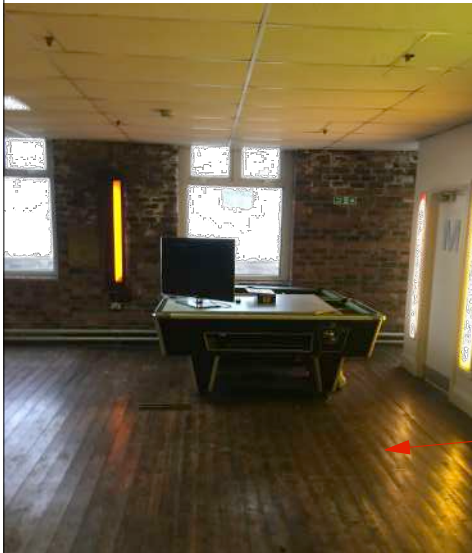
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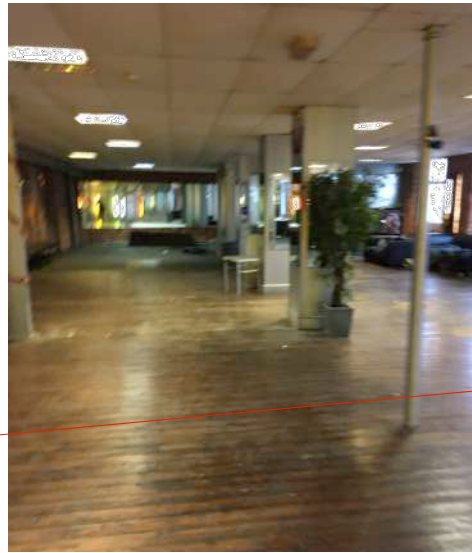
Existing suspended ceiling grid

Existing open plan first floor showing buildings current structural arrangement

INT.12



INT.13

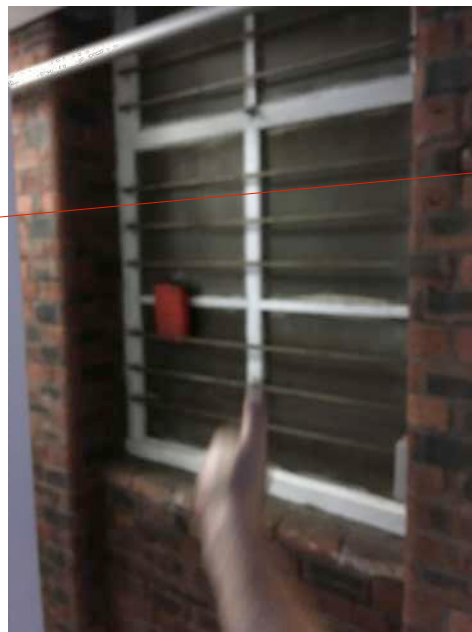


INT.14

Existing masonry wall sandblasted and sealed with existing timber floor boards sanded and treated.



INT.15



INT.16

Existing typical first floor corridor

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INT.17



INT.18



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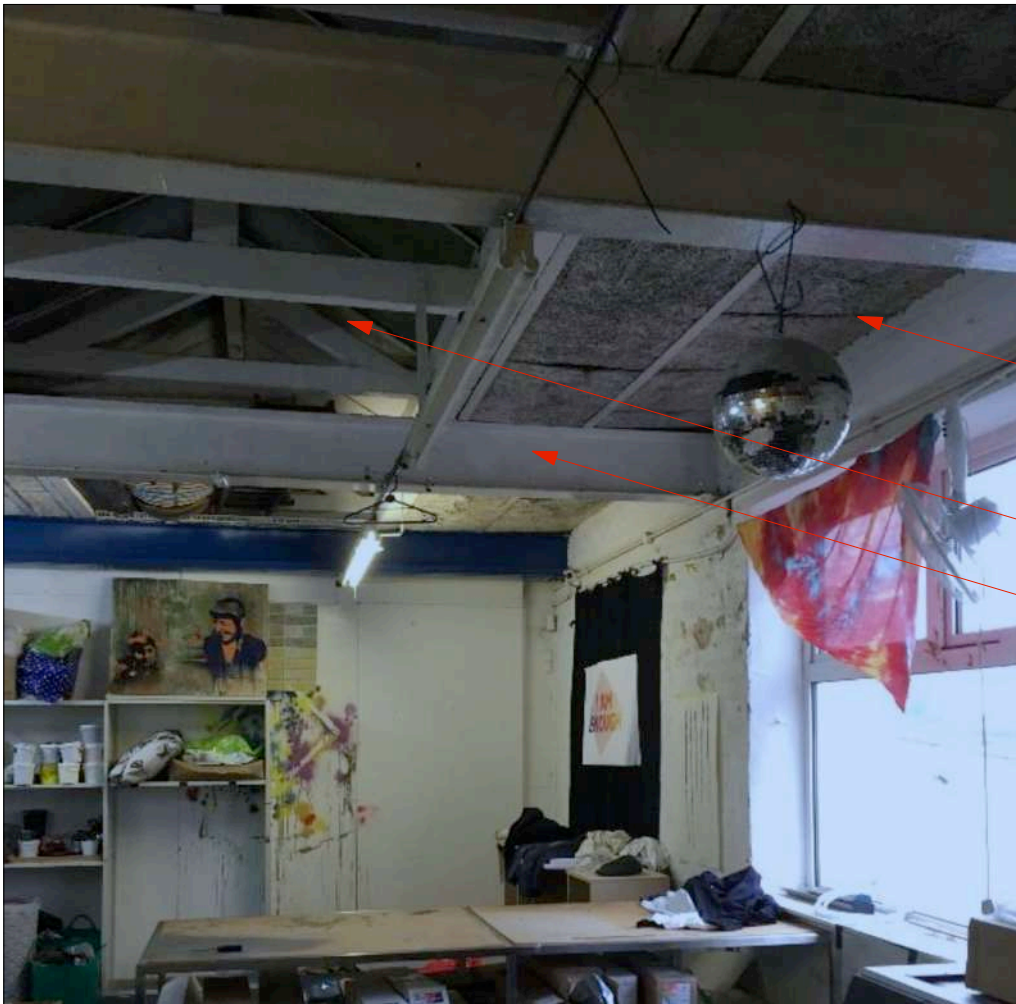
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Typical sanitary facilities across all floors.

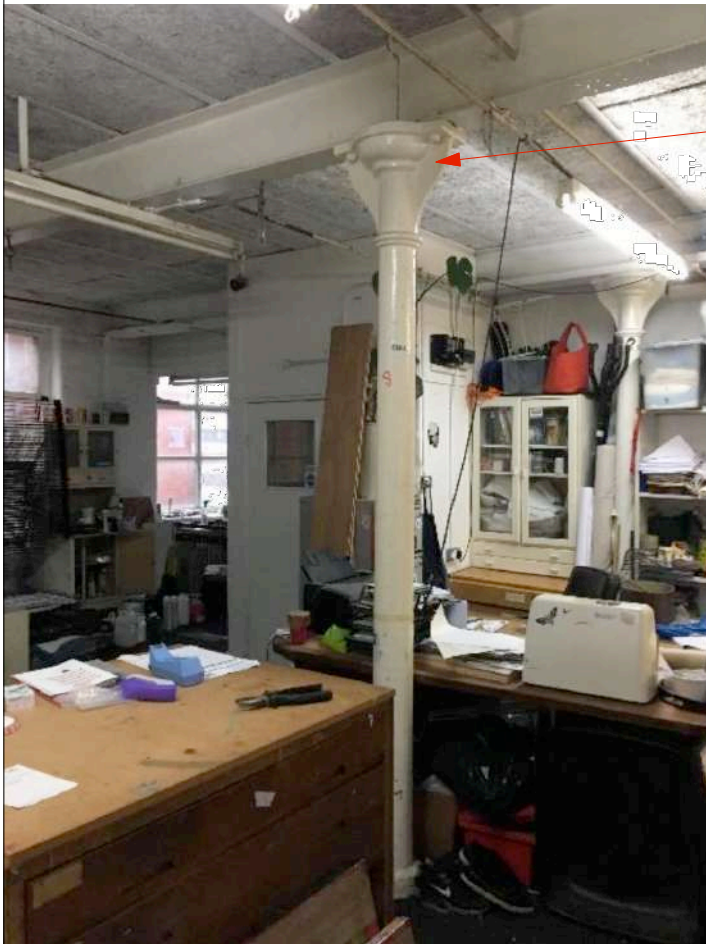
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INT.19



INT.20



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Existing wood wool (or similar) acoustic panels to ceiling

Existing timber roof lantern structure above

Existing steel beam roof structure.

Existing steel roof structure.

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